

# **HAYES** **PADDOCK** **DESIGN** **GUIDE**



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# Hayes Paddock Design Guide

Prepared by

**Boffa Miskell Limited**

and

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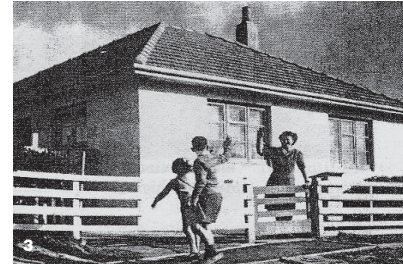
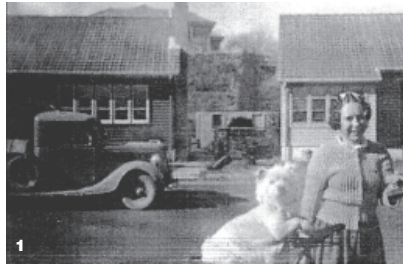
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# Introduction

The state house is a valued and iconic feature of the New Zealand landscape and an important element of our national identity. Built from the best materials of the day and designed by architects, state houses embody simple and robust, yet enduring design. Hayes Paddock is one of the best examples throughout New Zealand of a relatively intact, architecturally coherent group of houses that exemplify the state housing ideals of the 1940s. In a recent heritage assessment undertaken by Dave Pearson Architects Ltd, it was considered to merit a ranking of National Significance.

Although today's homeowners' expectations are rather different to those of the 1940s the simple construction and 'good bones' of state houses make them readily capable of adaptation for the modern conveniences and lifestyle that homeowners now seek. Over the last fifty years or so the majority of properties have passed into private ownership and with this shift has come a greater extent of alteration and adaptation. In varying degrees these changes have altered the houses' individual and joint appearance and character. More recently some parts of Hayes Paddock have seen the removal of the original state house and the redevelopment of the site with modern dwellings.

Hamilton City Council commissioned this guide in 2005 with the aim of balancing development needs and heritage values. It is aimed at helping homeowners who are considering altering their property. It explains house styles and suggests appropriate ways of making changes to a property in keeping with its historic character and style. The guide also provides useful reference material to assist in the design of new development in Hayes Paddock, whether or not such development would require a resource consent.



# How the Guide works

This design guide is provided to assist homeowners and developers in considering options for extending, altering or replacing dwellings in the Hayes Paddock area. The Hamilton City Proposed District Plan provides the regulatory framework for managing change in the area. Where resource consent is required this guide will assist the decision making process. As such it will provide greater certainty for applicants. The scope of the guidance extends well beyond those matters controlled by the District Plan, reflecting a desire within the community generally for assistance in promoting change that is sensitive to the distinctive character of the area.

*This guide is split into four sections as follows:*

## **Part 1 Landscape and architectural character of Hayes Paddock:**

This section provides background information on the Hayes Paddock area, its character and location. It explains different house styles, architectural detail and the garden suburb ideal.

## **Part 2 Design Guidelines for alterations and extensions to dwellings:**

The various ways in which a property may be extended are covered in this section. The suggestions given are in many cases based on successful alterations which have already taken place in Hayes Paddock. Generally the suggestions are generic, however some examples take into account the prevailing opportunities and constraints, such as landform or set back.

## **Part 3 Building from scratch outline recommendations:**

Although the retention of existing buildings is to be preferred, this section provides outline recommendations for homeowners wishing to rebuild their homes completely.



# Part I

Landscape and Architectural  
Character of Hayes Paddock



# Historical Background

## Location

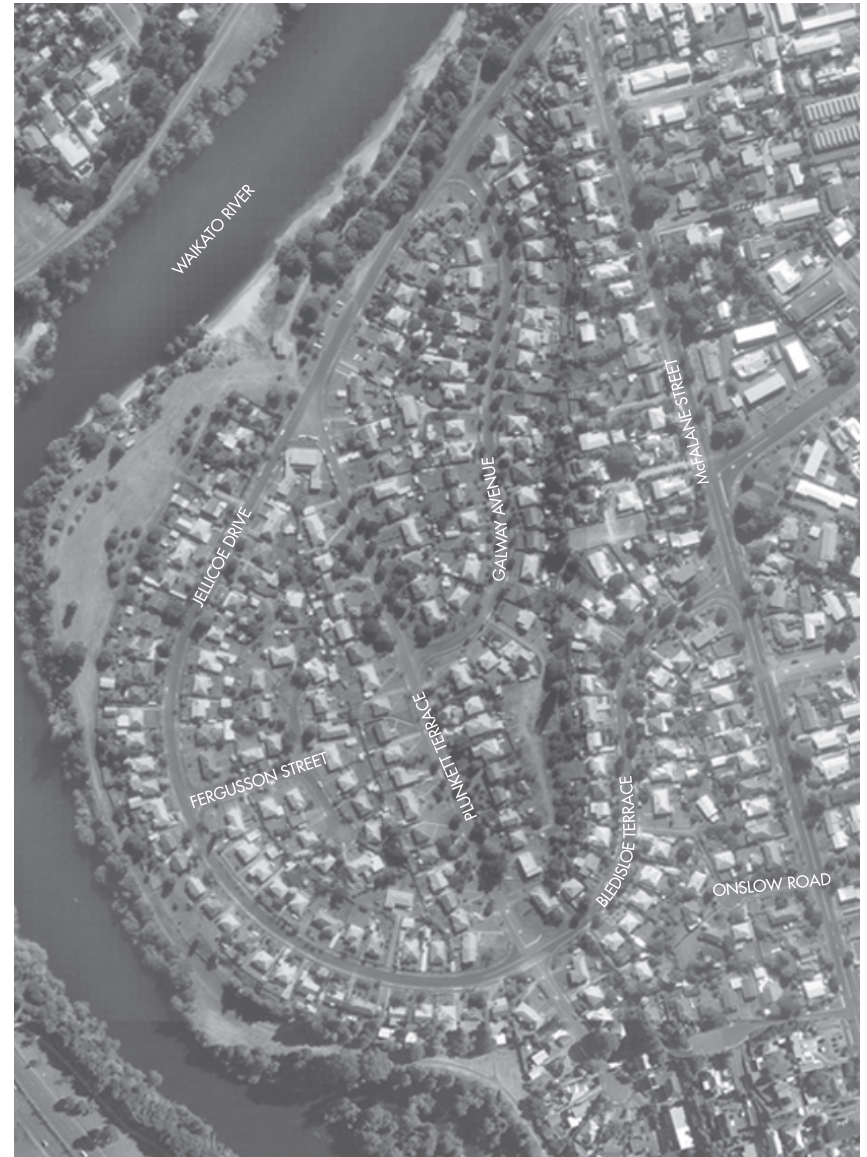
Hayes Paddock is situated on the eastern side of the banks of the Waikato River. The river encloses the neighbourhood on three sides providing a quiet cul-desac which is bordered on the east by McFarlane Street. The city centre is 5 minutes away by car, to the north-west and a few minutes drive to the south is State Highway 1.

## The Garden Suburb Vision

Hayes Paddock is one of the first Labour Government planned state housing areas that introduced the concept of a well-planned housing subdivision. The overall layout and design takes its cues from the garden city movement of the early twentieth century, which was translated into the New Zealand context by Reginald Hammond (1894 - 1970). Hammond was a London educated Architect and was appointed town planner and housing consultant to the Department of Housing Construction in 1936. He designed many of the early State Housing schemes in New Zealand including Savage Crescent in Palmerston North. His garden suburb ideals have been expressed in the layout and landscaping of Hayes Paddock with its curved street pattern, fenceless front gardens and provision of amenities, walkways and reserves. The majority of housing units are designed in the English Domestic Revival style, although some are designed in the modern style.

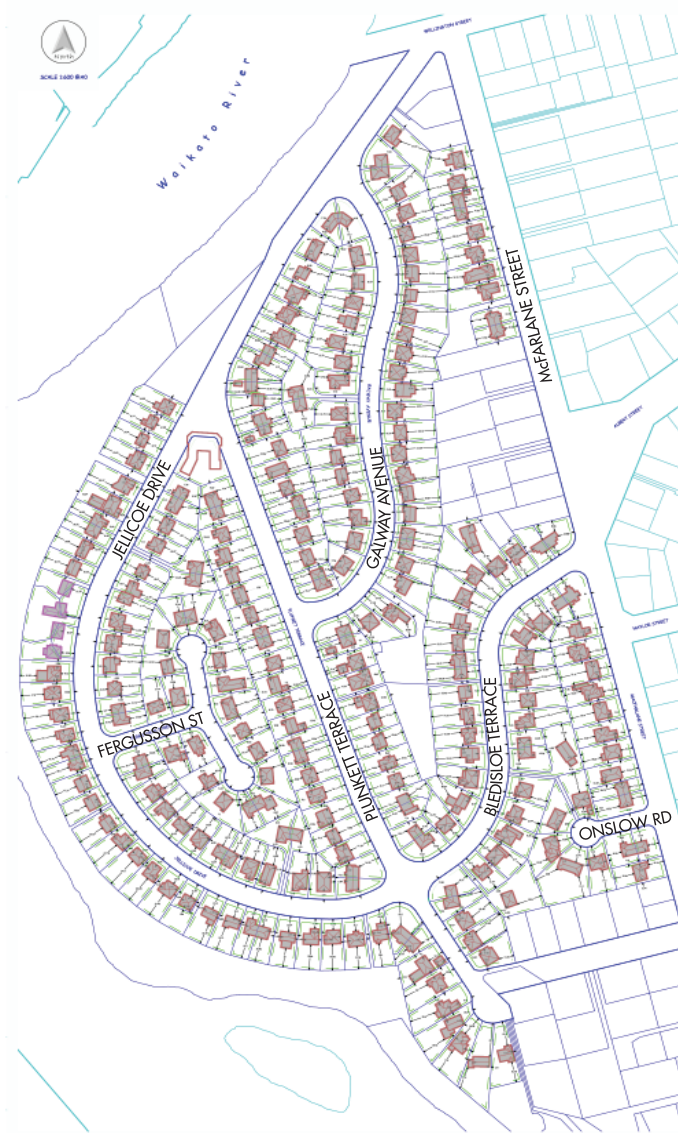
The houses in Hayes Paddock were built from 1939 to 1944/45 and each street was named after a Governor or Governor General. The houses were built with the best available materials, were designed by architects and were, within the topographical constraints of the area, positioned to capture the sun where possible.

In addition to the street layout, pattern of subdivision and houses, two reserves and shops were included to complete the 'garden suburb' concept, which included having amenities at hand. Currently the Hydro Majestic Café occupies the four shops that were originally provided. Of the two reserves, Hayes Paddock Reserve is the only one that has retained its purpose since the original layout of the neighbourhood. It includes a pathway by the Waikato River and access to a small beach and public toilets.



**Fig. 1.1.** Aerial photograph of Hayes Paddock (not to scale)





**Fig. 1.2.** Cadastral Plan with Building Roof Plans superimposed (not to scale)

*Note: A larger duplicate of this map can be found in Appendix 1.*

## Street Layout

The street layout follows the contours of the land. Jellicoe Drive and Bledisloe Terrace follow the curve of the river around the perimeter of the precinct, beginning and ending in McFarlane Street, which defines the eastern boundary. Plunkett Terrace is at the lowest point, following the valley between McFarlane Street and Jellicoe Drive. The streets maintain a peaceful, residential character with relatively narrow vehicle carriageways, reinforced by the fact that the area does not contain any through roads. Tree-lined grass verges contribute to the overall unity and scale of the street landscape.

## Sections and Siting

The housing lots at Hayes Paddock are closer in area to 600m<sup>2</sup>, less than the traditional “quarter acre” (approx. 1000m<sup>2</sup>) typical of other period State Housing areas throughout the country. The sections themselves exhibit a consistent layout and some standardised elements which contribute to the sense of open space and uniformity. These include a low concrete kerb defining the street frontage and side boundaries (in contrast to the back gardens, which were traditionally fenced), concrete footpaths running between the front door and street (sometimes laid diagonally up a slope) and standardised letterboxes. These elements remain, although in some cases have been replaced with alternative forms.

No garages were originally provided, however houses were positioned to allow enough width for future development of a garage to the rear. Driveways were constructed using concrete wheel tracks separated by a grass strip to reduce the expanse of concrete. Greater reliance on private cars and limited control over building development in the precinct over the years has led to a number of garages being added to the front garden area and the original driveways being replaced by much larger expanses of paving.

The position of each house generally relates to the size and shape of the site. Along street frontages houses are generally set back the same distance from the road, however this distance varies on different streets depending on the shape and depth of the site. On splayed or narrower sections, such as at Galway Avenue and Bledisloe Terrace the houses are set further back. Plunkett Terrace exhibits a very distinctive enclosed, valley-shaped landform, with the houses being set well back from the street on the more elevated part of the lot. The effect of this is that the garden vegetation on either side of the street creates a diverse, pleasant landscape setting with good tree cover and shade provision.

# Landscape and Street Character



**Fig. 1.3.** Typical cross section east-west through Hayes Paddock.

## Cul-de sacs (Onslow Street / Fergusson Street)

- Asymmetrical section layout, many sections splayed with houses set back from street.
- Many houses obscured by vegetation in front gardens, planted to improve privacy.
- Driveways more conspicuous due to limited access to rear on some properties.

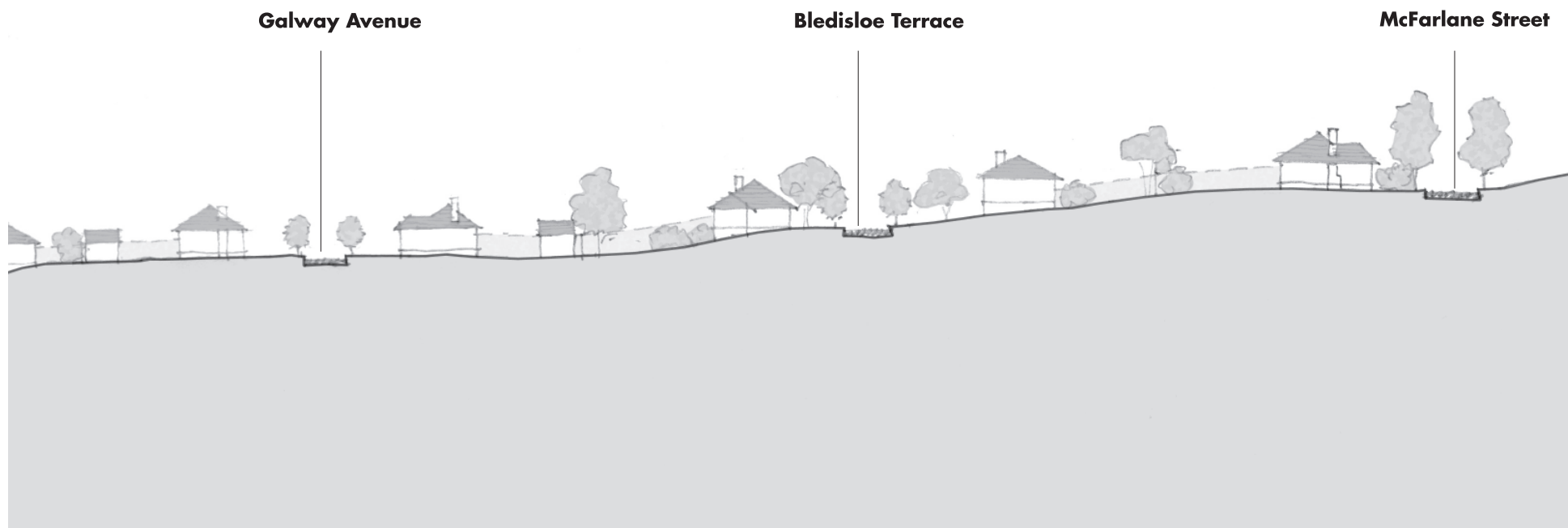
## Jellicoe Drive

- Flat landform (follows contour). Curved street layout creates oblique vistas to house frontages.
- Houses equally set back from road close to street boundary.
- Some properties altered / extended considerably to front and rear.
- Some two-storey houses on west side of street distinct from remainder of single storied houses throughout precinct.
- Orientation towards views to west is predominant on houses adjacent to reserve.

## Plunkett Terrace

- Road follows valley between Mcfarlane Street and Jellicoe Drive providing strong sense of enclosure.
- Houses are located generally lengthways along the ridgeline creating a generous set back from the street boundary. Landscaped gardens contribute to the overall street landscape.
- Diagonal paths feature strongly.
- Some extensions / additions have been made in front gardens e.g. garages.





### Galway Avenue

- Flat landform (follows contour). Curved street layout creates oblique vistas to house frontages.
- House set back varies with houses on narrower / splayed sections set further back from street boundary.
- Coherent house and garden styles, generally intact with few additions.
- Well preserved corner sections with original nib walls intact.
- Orientation towards views to west is predominant on houses on west side of street.

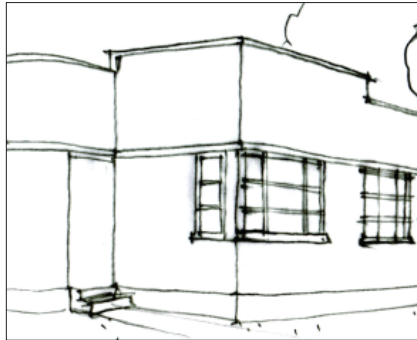
### Bledisloe Terrace

- Curved street layout with landform sloping from westwards towards river. Many houses have good views towards river.
- House set back varies with houses on narrower / splayed sections set further back from street boundary.
- Well preserved corner sections with original nib and retaining walls intact.
- Front garden tree planting in some properties contributes to the overall street landscape.

### McFarlane Street

- Wider street layout and larger street trees than elsewhere.
- Houses on west side generally located close to street boundary and orientated towards the west for views and aspect.
- Some properties altered / extended considerably to front and rear.
- Less coherent architectural style – many houses on east side of street set back on upper slopes are contemporary style and do not fall within the precinct heritage area.

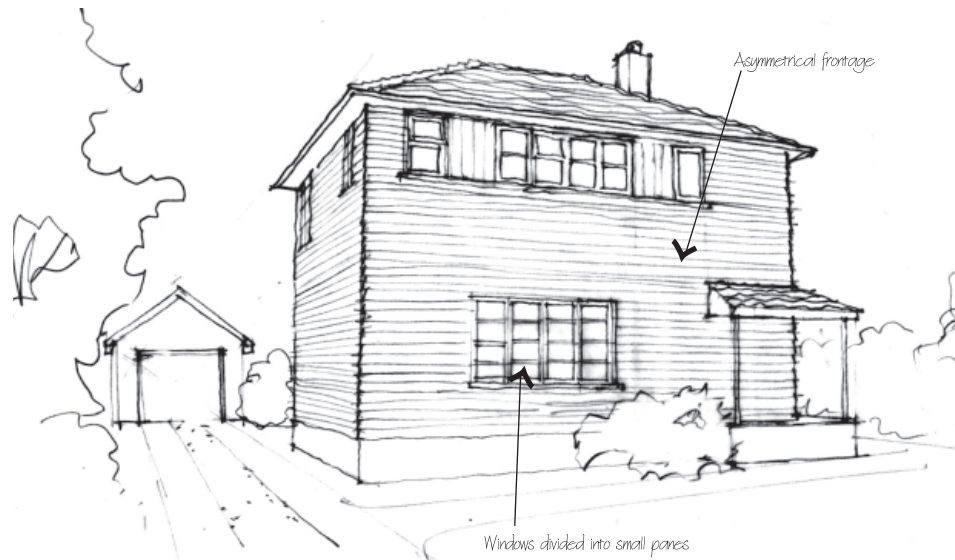




## What Style is our House?

As part of an original philosophy that each occupant should have a house that differed from its neighbour, the designers took their inspiration from a variety of architectural styles, both traditional and contemporary.

## Traditional Styles:



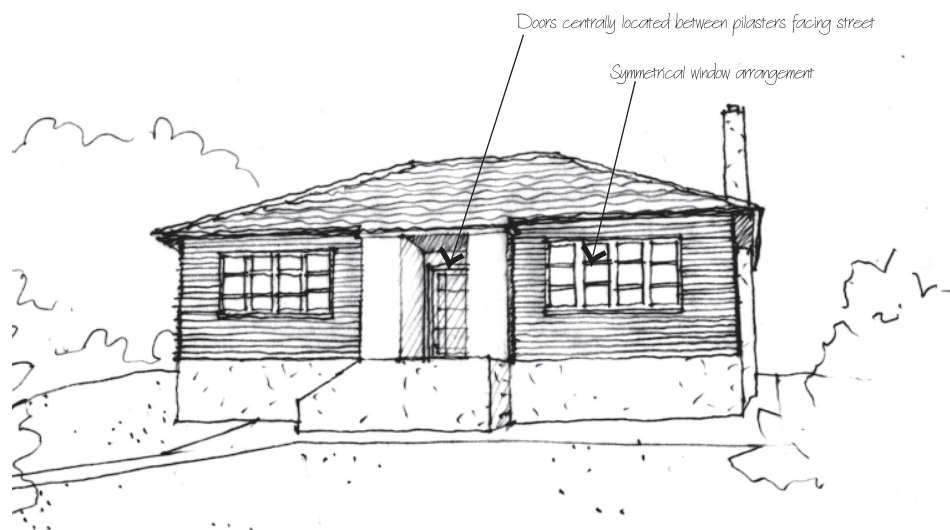
**Fig. 1.4a**

### English Domestic Revival ( one and two-storey dwellings)

*The layout of Hayes Paddock was inspired by the English Garden movement of the early Twentieth Century and inevitably, the majority of the houses are designed in the English Domestic Revival style. This style developed from the farmhouses and cottages of rural England with contributions from the Arts and Crafts movement. English Domestic dwellings in Hayes Paddock are asymmetrical with steep pitched gable or hipped roofs. The entry doors are glazed and windows are divided into small panes.*



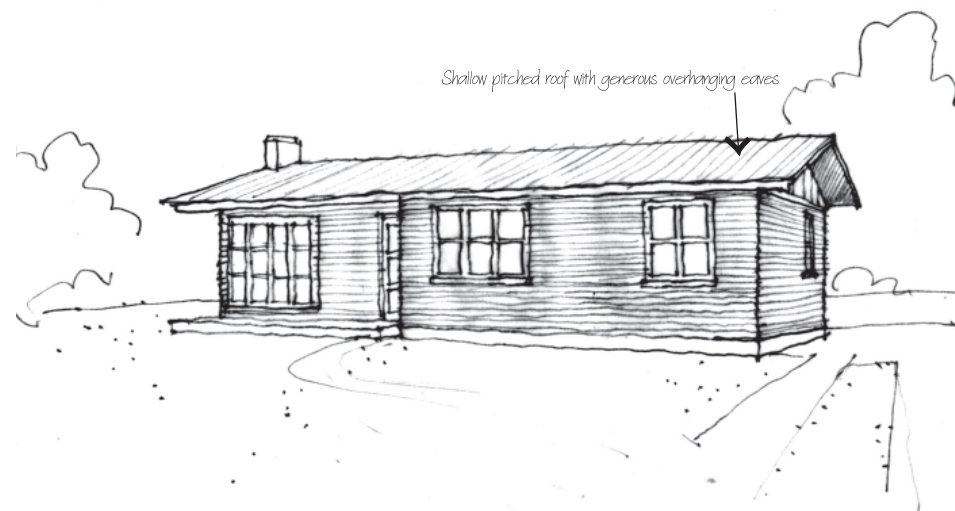
**Fig. 1.4b**



**Fig. 1.5**

## Georgian Revival

The Georgian style originated in England and became popular in Australia and New Zealand during the colonial period. It was used for a range of building types from simple cottages to grand houses. In Hayes Paddock, houses that may have been inspired by Georgian architecture are symmetrical with a central front door and entry porch.

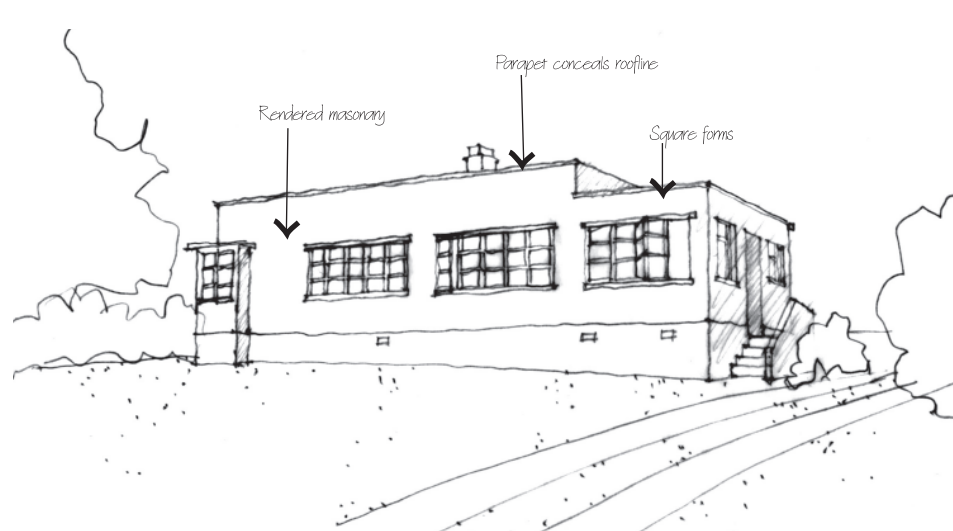


**Fig. 1.6.**

## Bungalow

The bungalow style originated in India and arrived in New Zealand via California. Bungalows had low pitched roofs, exposed rafters at the eaves, and bay windows. In Hayes Paddock, houses influenced by the bungalow style are simple buildings with shallow pitched roofs and little ornamentation.

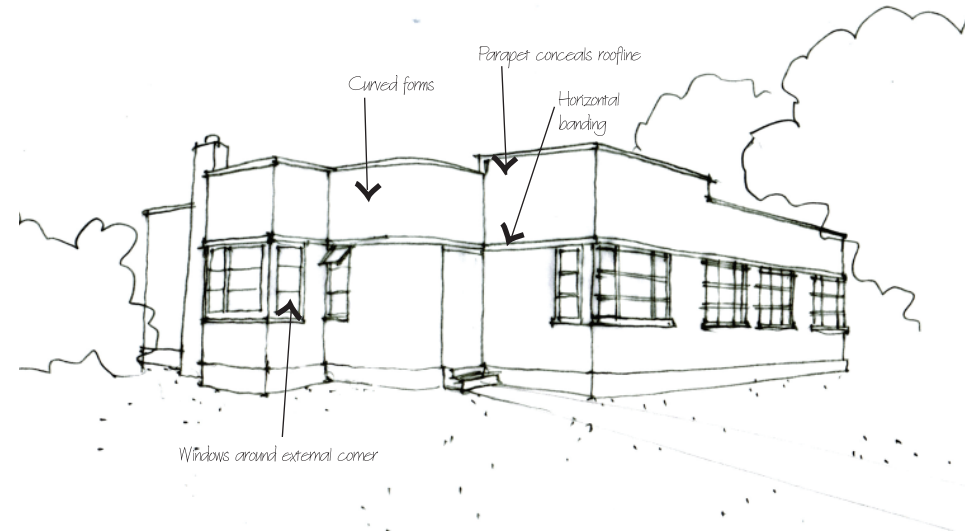
# Modern Styles:



**Fig. 1.7**

## Functionalism

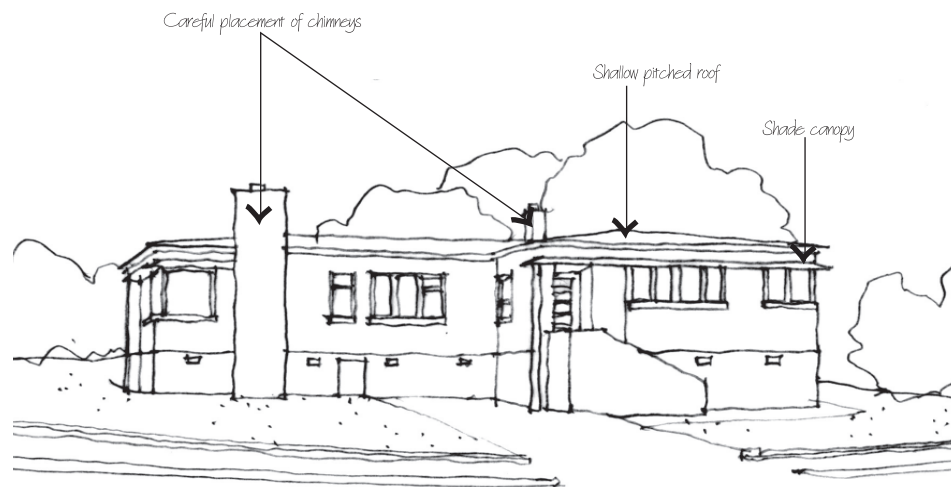
As the name suggests, functionalist buildings aimed to be practical above all else. Aesthetics were seen as being of secondary importance. The style was characterised by square forms with flat roofs, extensive areas of glass and smooth wall surfaces. In Hayes Paddock, the best example of a functionalist house is found in Plunkett Terrace.



**Fig. 1.8**

## Moderne

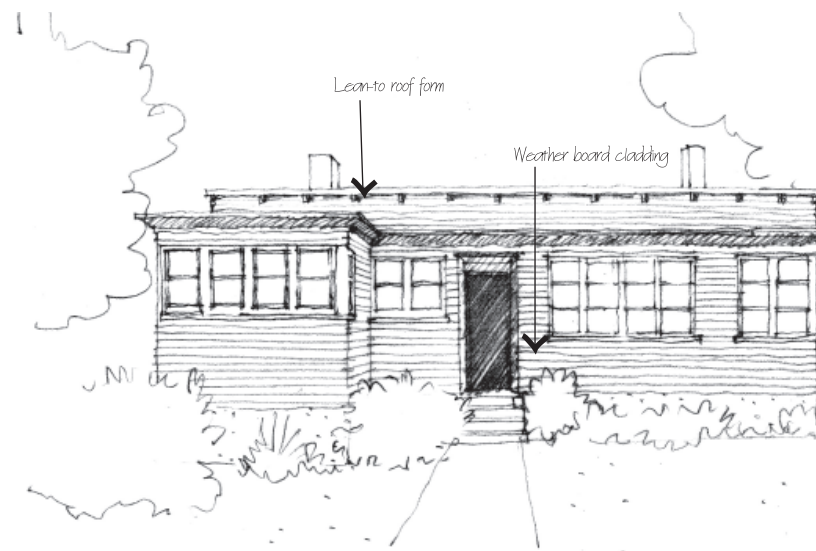
The Moderne style was sleek and streamlined and originally used for cars, trains and aeroplanes to convey an impression of speed. Later, it was adapted for buildings where it was characterised by rounded corners, horizontal lines and parapets to conceal the roof. An excellent Moderne house is found at the corner of McFarlane Street and Bledisloe Terrace.



**Fig. 1.9**

### Individualistic

*This double unit is unique in Hayes Paddock. It is clearly architecturally designed with its modern horizontal lines, careful placement of the windows and elements of brickwork to anchor the building. However, its lack of eaves and shallow hipped roof form place it outside any recognisable style. The building remains one of Hayes Paddock's most individualistic designs.*



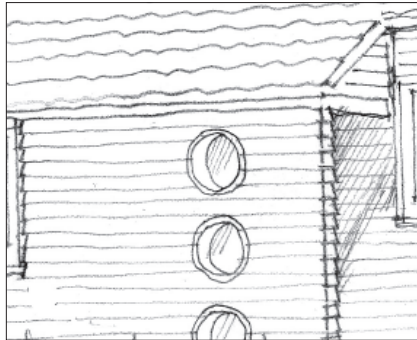
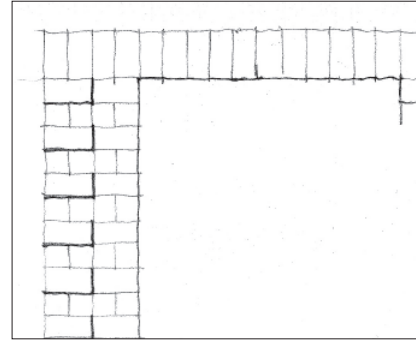
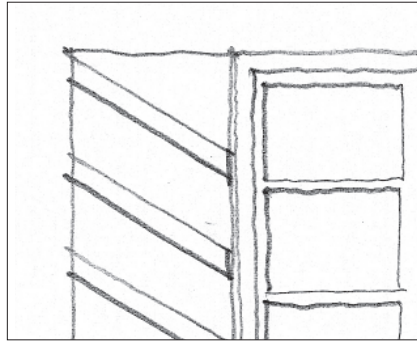
**Fig. 1.10**

### New Zealand Vernacular

*The New Zealand vernacular style was an attempt to create a uniquely home-grown architecture. The style was influenced by Scandinavia and San Francisco architecture and can generally be recognised by its lean-to roofs, dark stained weatherboards and contrasting white joinery. A good example of the vernacular style is found at the corner of McFarlane Street and Bledisloe Terrace.*







## What Materials were used ?

With the aim of producing houses of almost infinite variety, the designers relied on a range of different materials and incorporated an assortment of architectural details.

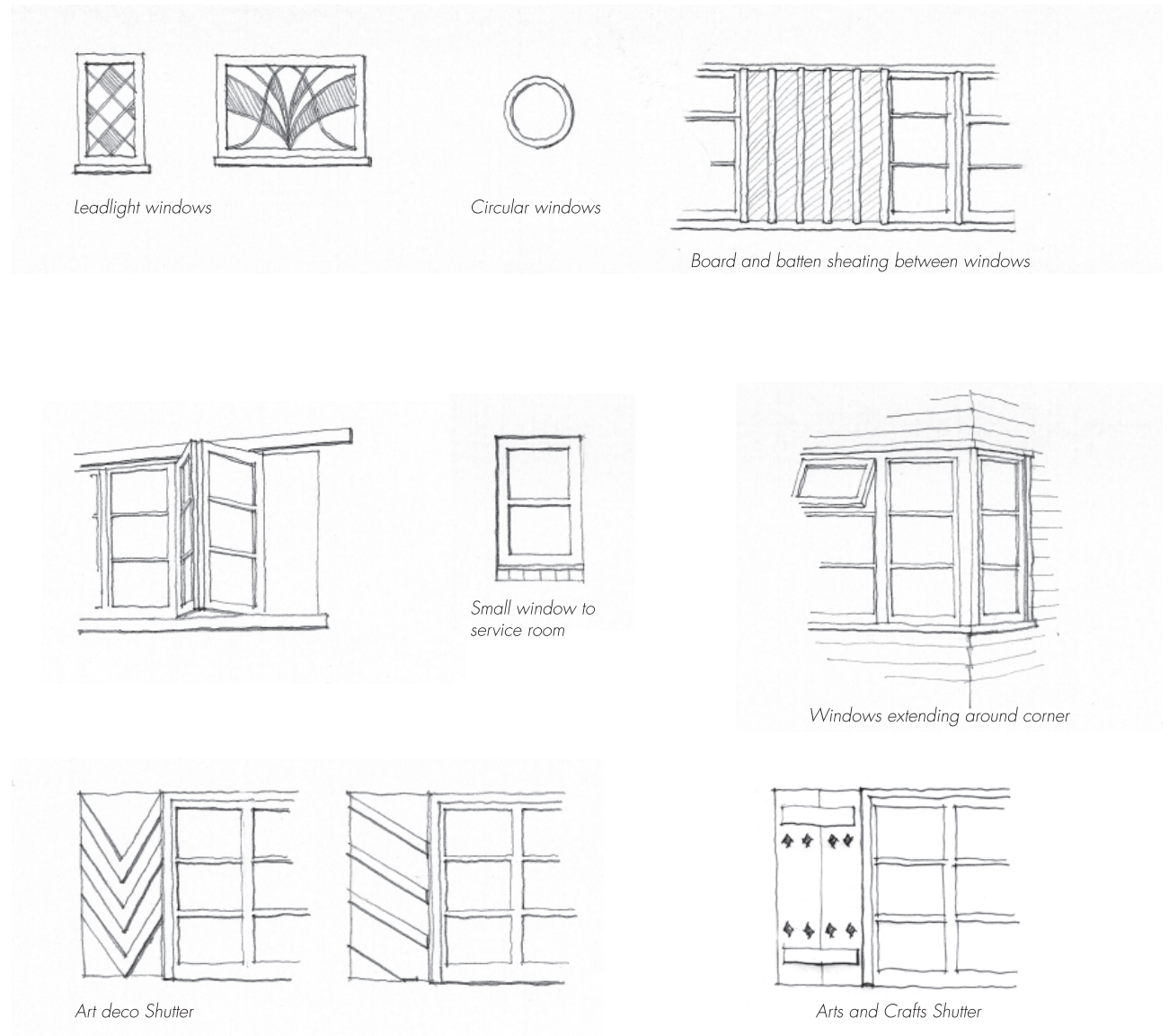
# Joinery

## Windows

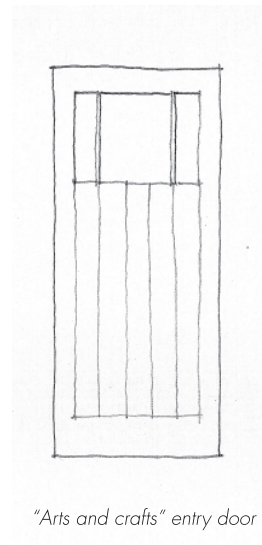
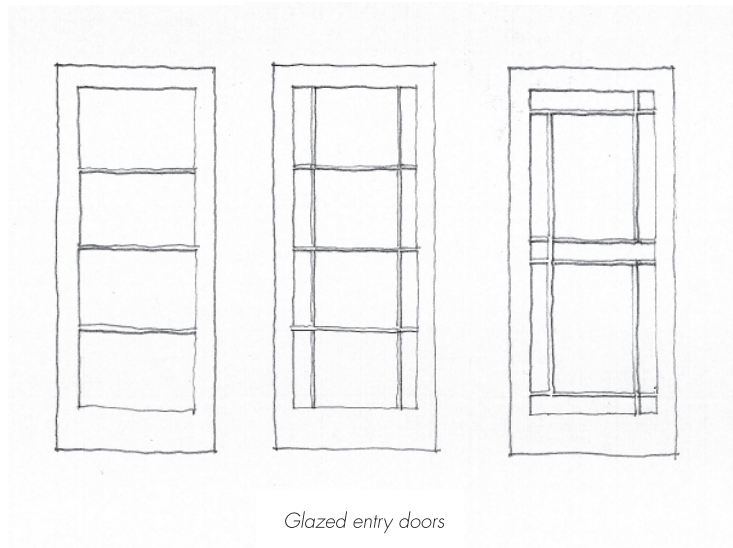
The window joinery is all made from timber. Sashes are generally narrow and divided horizontally into three panes. In some instances, larger undivided panes are found alongside the opening sashes. Elsewhere, up to five vertical sashes are grouped together to provide larger windows. Windows can also extend around corners. Leadlight windows and circular windows were sometimes included for variety and individuality.

## Shutters

Window shutters were another device used to add variety to the houses and at least five different types can be found. Some shutters are plain, while others have an Arts and Crafts influence. One house in Galway Avenue and another in Bledisloe Terrace have shutters with a chevron pattern or "V" pattern reminiscent of the Art Deco style.

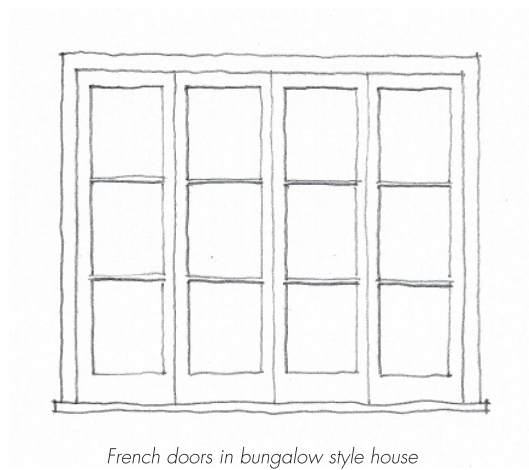


**Fig. 1.11.** Examples of window joinery



## Doors

The front entry doors, almost without exception, are timber with glazed panels with glazing bars being used to provide a variety of patterns. One house in Bledisloe Terrace has a distinctive Arts and Crafts style entry door with tongue and groove boarding below a small glazed panel.



**Fig. 1.12.** Examples of doors

# Masonry:

## Brickwork Detailing

Where brickwork is used on houses, various details have been included to add interest. These include horizontal recessed and projecting bands, brick quoining around openings and freestanding brick columns. One house in Galway Avenue has a panel of brickwork in a herringbone pattern. Slotted openings have been left in some brick screens to entry porches. Originally, it is likely that all brickwork was left in its natural state, however, a number of brick houses have since been painted.

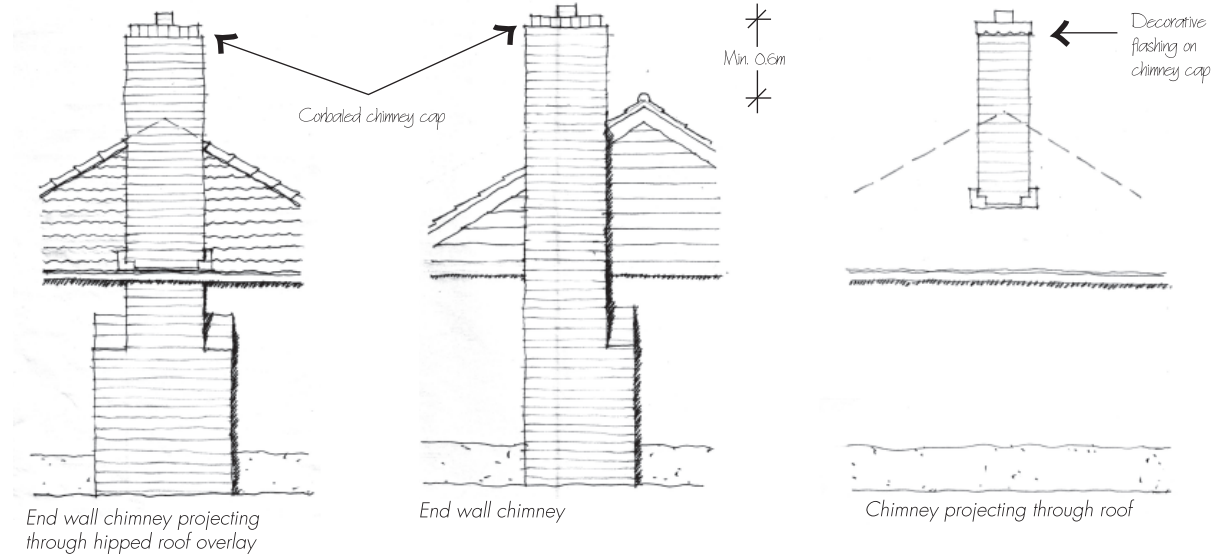
## Chimneys

Chimneys are often placed on the end walls of houses as an architectural feature or are found projecting from the roof. The majority of chimneys are constructed of unpainted brickwork although some plaster chimneys can also be found.

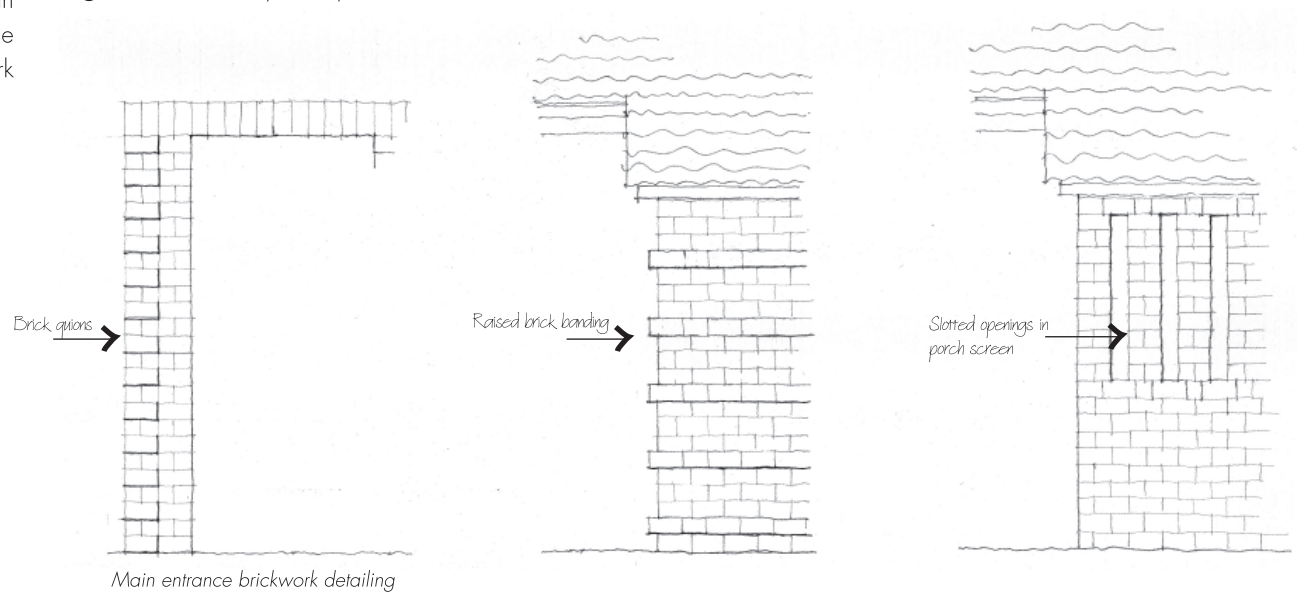


*Herringbone panel in front facade*

**Fig. 1.14.** Brickwork detailing examples

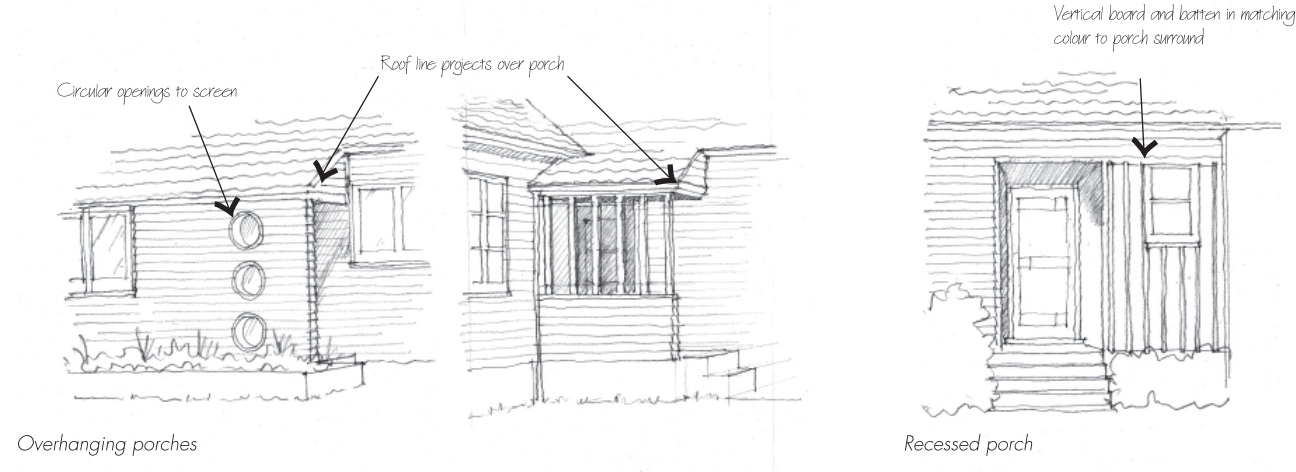


**Fig. 1.13.** Chimney examples



*Main entrance brickwork detailing*

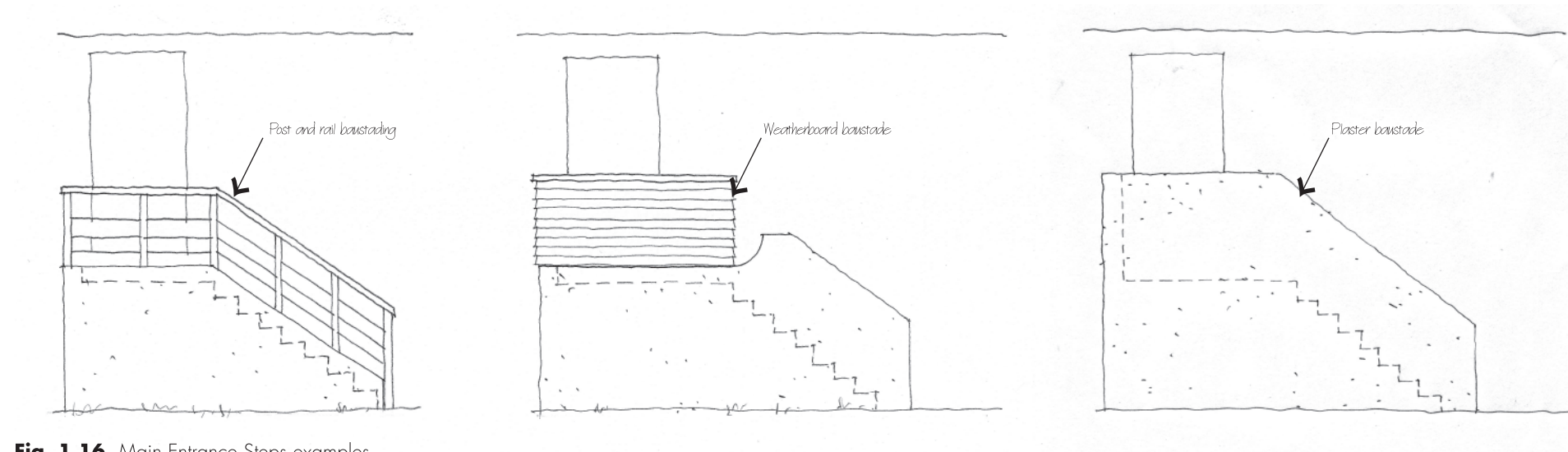
# Main Entrances



**Fig. 1.15.** Porch examples

## Porches and Steps

Porches were another way of introducing variety to the Hayes Paddock houses. One porch on a house in Jellico Drive has a screen with a series of circular “portholes” while others utilise timber screens or trellising. One house in Galway Avenue has simplified classical columns to the porch. In some instances, the wall cladding changes to vertical board and batten within the porches. Steps and terraces have balustrading consisting of a series of rails or low weatherboarded walls.



**Fig. 1.16.** Main Entrance Steps examples



# Roofs and Exterior Cladding

## Roof forms

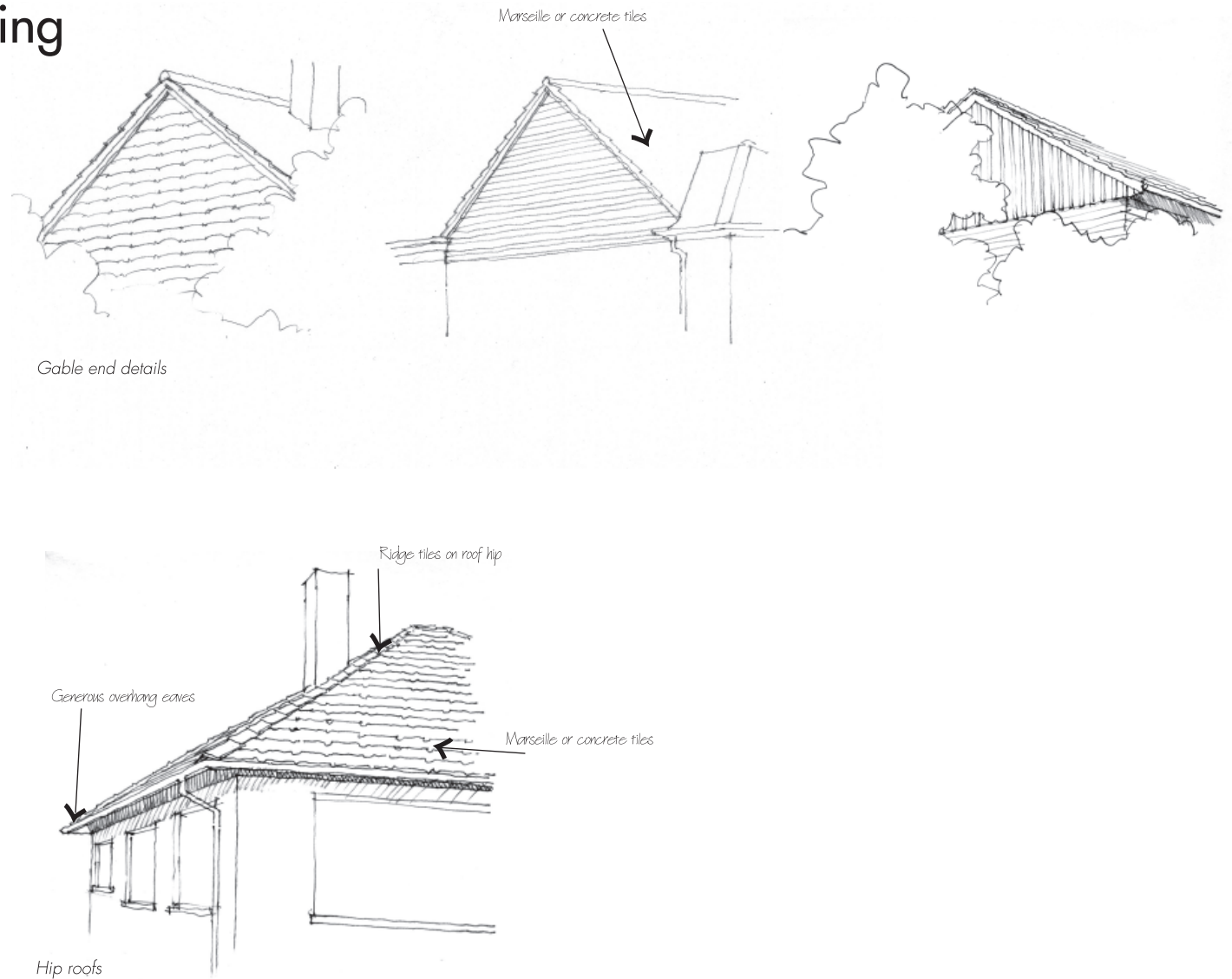
The majority of houses in Hayes Paddock have either hipped or gabled roofs clad with concrete or Marseilles clay tiles. A small number of houses, generally those in the bungalow and modernist styles, have roofs of corrugated steel. Flat roofs were laid with a bituminous fabric over timber sarking.

## Gable Ends

Gable ends to both brick and timber houses are almost all weatherboarded although some vertical board and batten or plastered gables can also be found. An interesting variation to the usual plain weatherboards can be found on a house in Bledisloe Terrace where the lower edge of the boards is shaped with a decorative pattern.

## Walls

The majority of the houses in Hayes Paddock have walls of overlapping bevel-backed weatherboards, although a sizeable number, notably a group in Galway Avenue, are clad with brick veneer. A few houses have plastered walls with either a rough-cast or decorative finish. In a number of instances, different wall claddings have been used on the one house. For example, a brick house may have an area of weatherboarding and a weatherboarded house might incorporate some brickwork. Vertical board and batten sheathing can sometimes be found between windows. Irrespective of the wall cladding, the houses have plastered foundation walls finished in a variety of textures and patterns. The consistency of these walls creates a strong unifying element throughout the precinct.



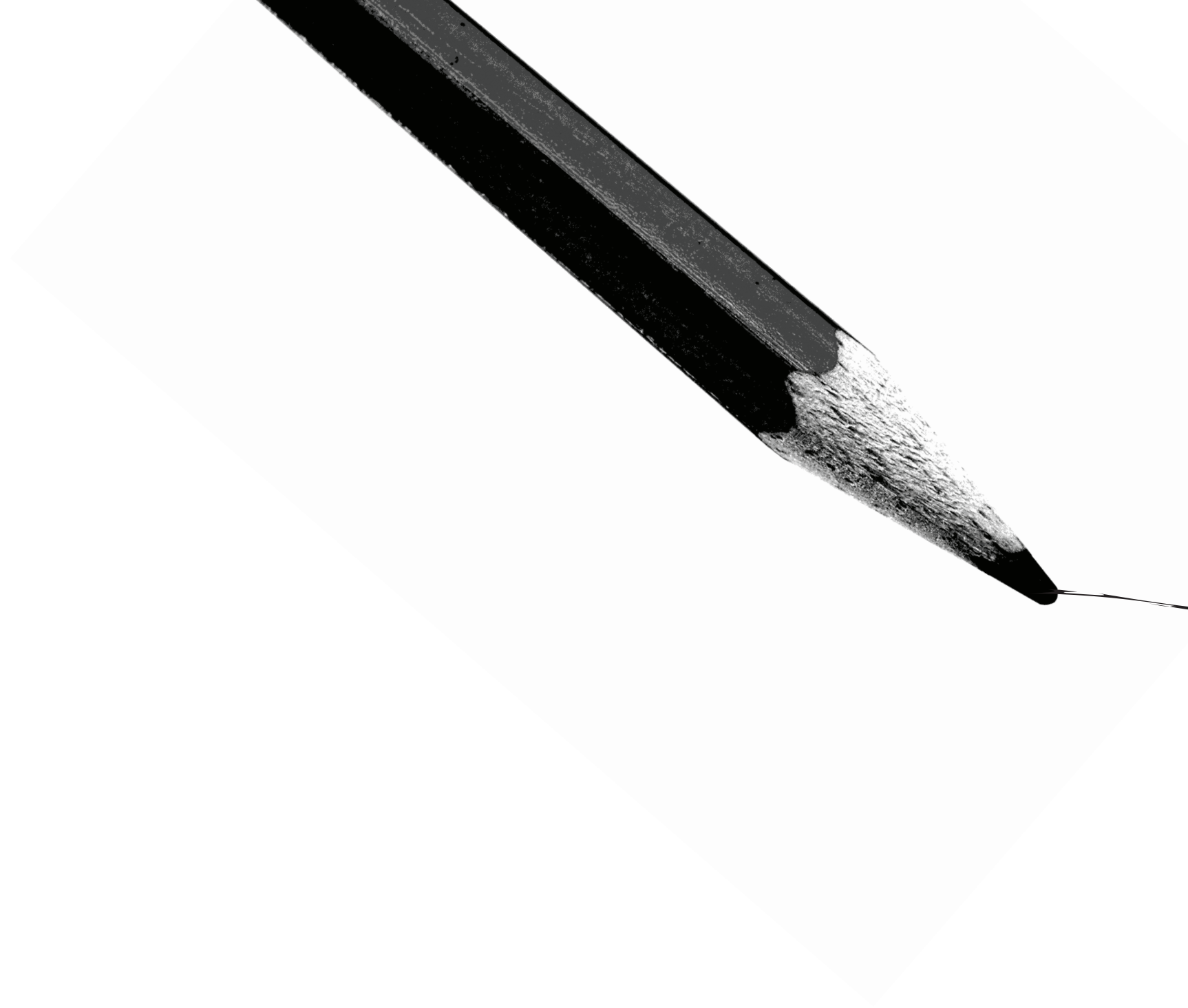
**Fig. 1.17.** Roof and gable end examples

## What colour was our house?

Although detailed research is yet to be carried out into the original colour schemes of the Hayes Paddock housing, early black and white photographs of State houses can provide evidence of the tones of colour that were used. Colour schemes used for State houses were generally conservative with walls painted in what was probably cream or white although occasionally darker colours might be used for the walls. Window joinery was commonly white while shutters and other architectural features might be painted in a contrasting darker colour. In some instances, the tones were reversed with joinery being a slightly darker colour than the walls. Additional colour was provided by natural brickwork and coloured concrete tiles

Traditionally, buildings of various architectural styles had distinctive colour schemes. For example, Georgian revival buildings might have white or cream walls with green shutters and doors. English Domestic Revival houses might have walls that were off-white, buff, stone or cream with windows either of a similar colour or a contrasting darker colour. Moderne and Art Deco houses often had a light monochromatic colour scheme where the walls might be white, cream or possibly pale green or pink. The windows might be a similar colour while brighter colours would be used for the doors.

Further research is required at Hayes Paddock to determine whether particular colours used reflected the architectural styles. In the future, it is hoped that a library of information might be accumulated whenever houses are being worked on to assist owners in researching the original colour of their house.





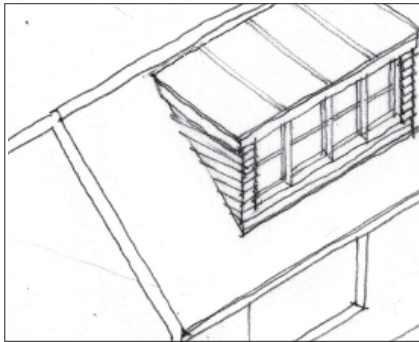
# PART II

Design guidelines for alterations and extensions to dwellings



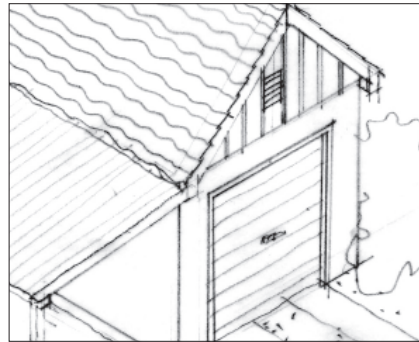
# Suggested alterations that homeowners might want to do

The following types of alterations suggested are based on examples currently found in Hayes Paddock:



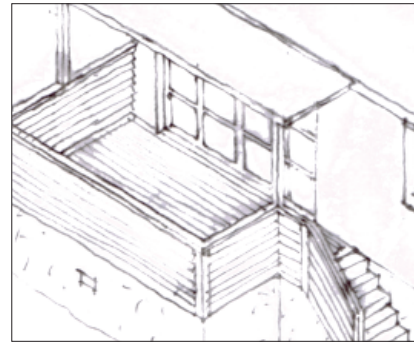
## Need more living space

- Extending at ground level
- Extending to include an additional storey
- Extending with an attic conversion



## Need additional covered parking

- Car ports and lean-tos
- Free-standing garages
- Garages incorporated as part of a house addition



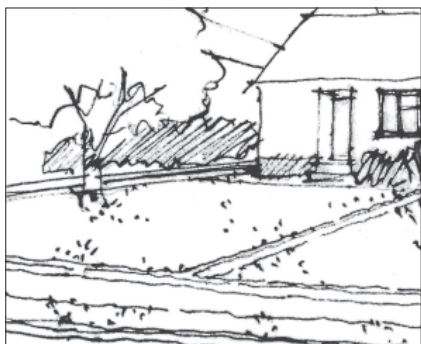
## Need to improve indoor - outdoor flow

- Sunrooms
- Decks and balconies
- Garden terracing



## Need to refit architectural features

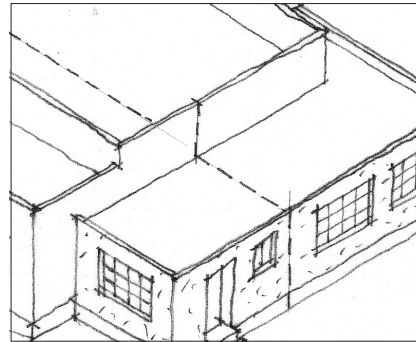
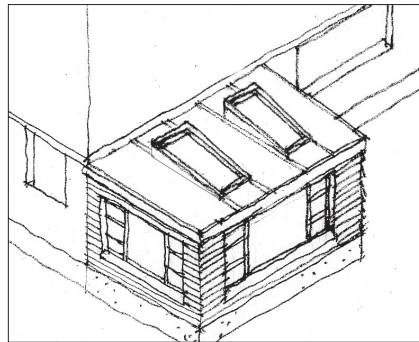
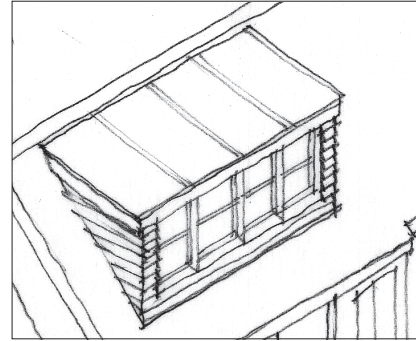
- New entrance doors / French doors / garage doors
- New windows, leadlights and shutters
- Chimneys



## Garden Improvements

- New footpaths / driveways
- New boundary treatments
- Tree and hedge planting





## Design Summary Checklist

### have you:

Designed an addition that is in keeping with the original style ?

Developed a house that avoids intrusive impact on its surroundings ?

Ensured that the size of the addition does not exceed the size of the original house ?

Considered ways of extending your house to the rear before building at the front ?

Ensured that any addition to the front retains as much of the original facade as possible ?

Considered developing the roof area if additional space is desired?

Ensured that architectural detailing of the addition matches the original house ?

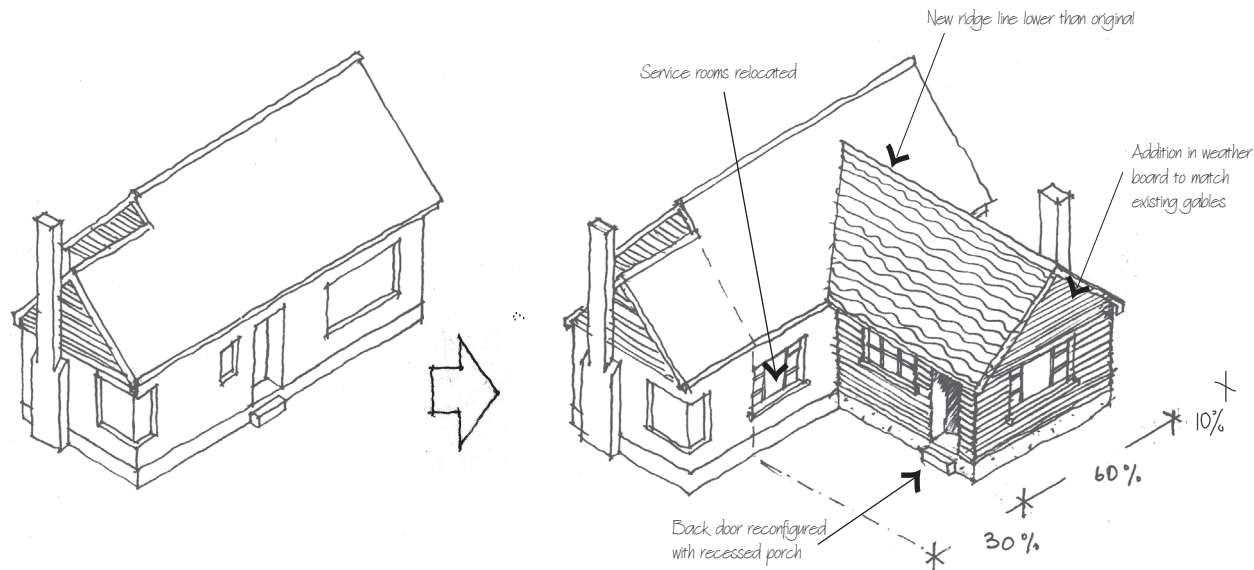
Used materials and finishes that complement the existing house ?

## House Additions and Alterations

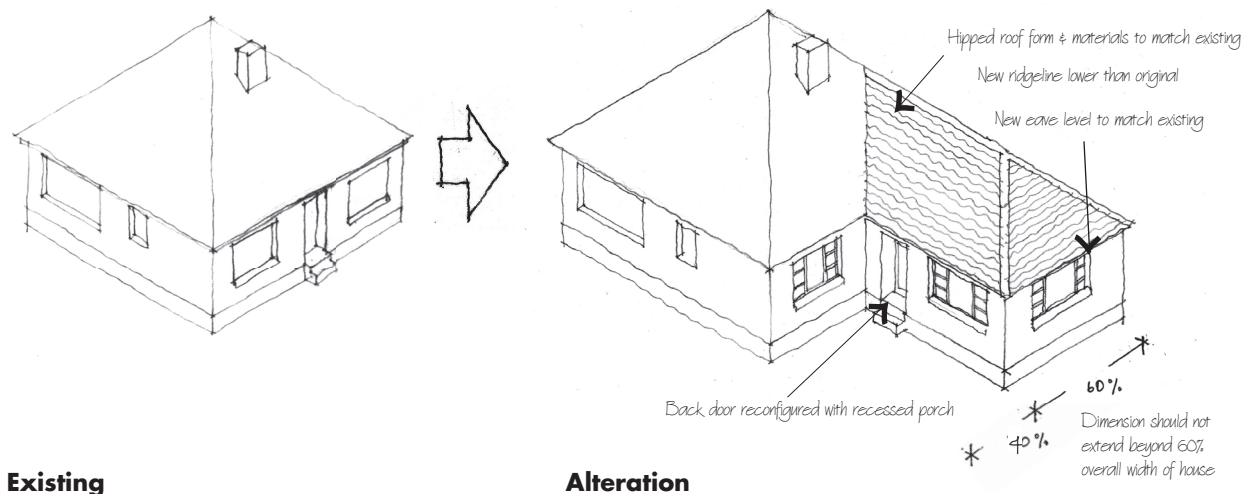
Many good examples of additions to the original houses of Hayes Paddock currently exist. In the following pages a range of options for extending the living space of a house, whilst still preserving its heritage value are provided.

Whilst the guidelines cannot cover all the possibilities, the purpose of the examples given is to provide general guidelines and inspiration for homeowners considering making alterations to their houses.

**Fig. 2.1 Gable roof type**



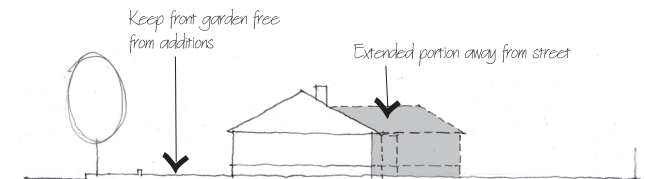
**Fig. 2.2 Hipped roof type**



**Existing**

**Alteration**

**Fig. 2.3 Typical section through property**

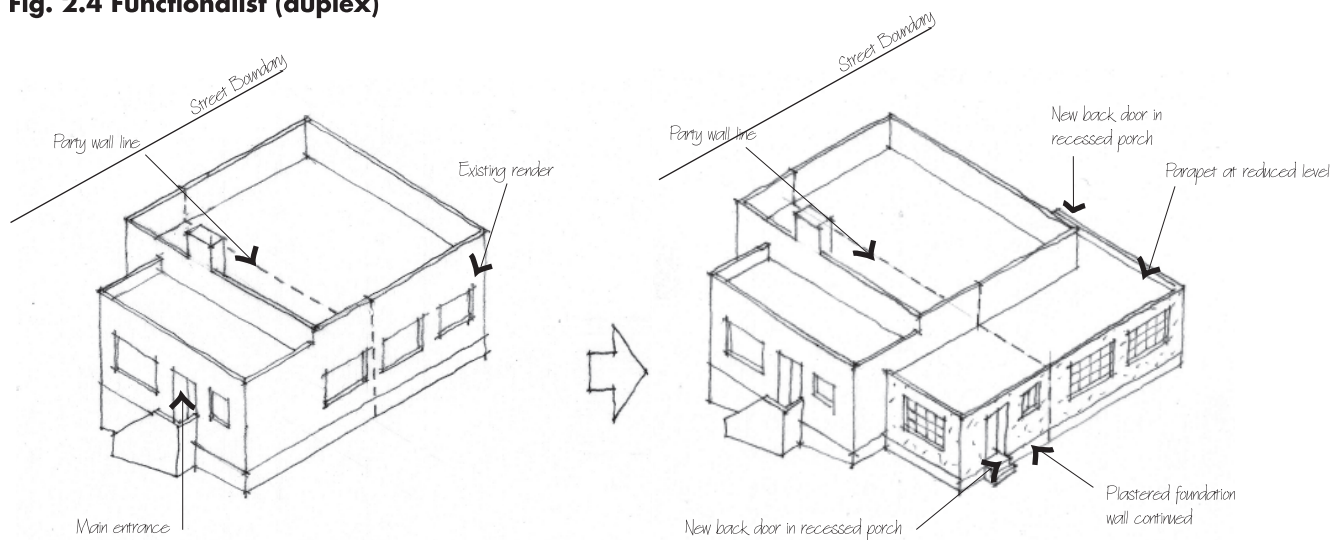


## Single storey additions

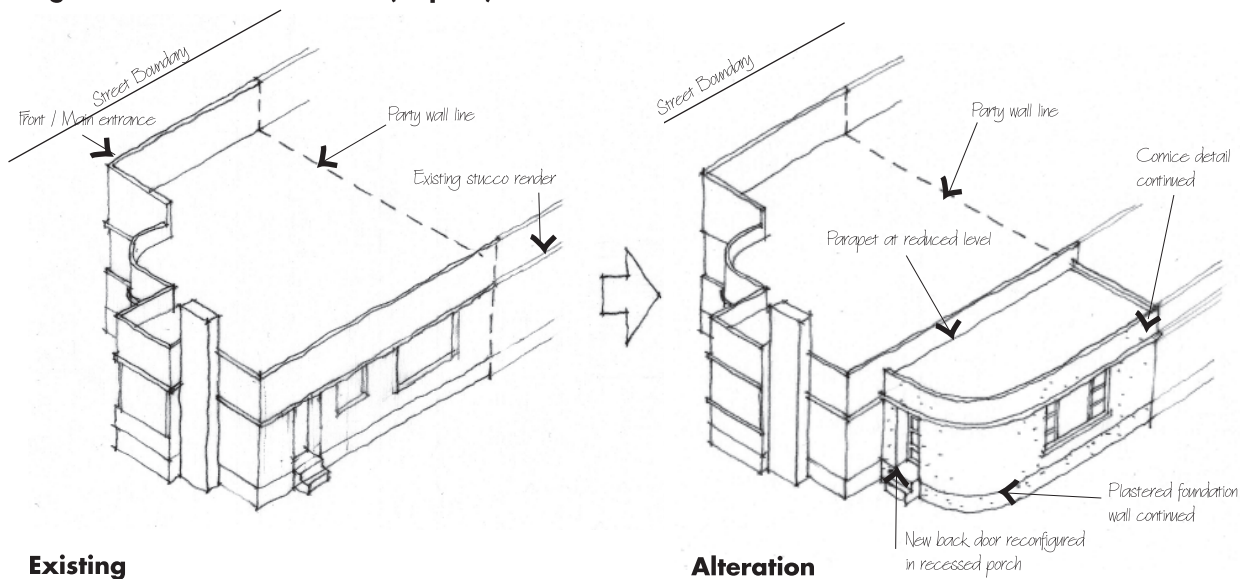
### Hip or gable roof form

- Additions should be planned to the rear of the property. Additions towards the street should be avoided except in the case of Plunkett Terrace (refer to page 35).
- Additions that do not incorporate garages should not encroach upon existing vehicle access to the rear of the property.
- The width of the extended portion should not extend beyond 60% of the overall width of the existing house.
- If the addition is constructed on the same level as the existing ground floor, it should incorporate a plastered foundation wall to match the existing.
- The roof form and materials of the addition should match the existing (see part II).
- Additions on properties with an existing masonry exterior may be clad in weather board to provide a contrasting appearance
- Additions may incorporate an additional chimney to complement the existing roof form.

**Fig. 2.4 Functionalist (duplex)**



**Fig. 2.5 Art Deco / Moderne (duplex)**



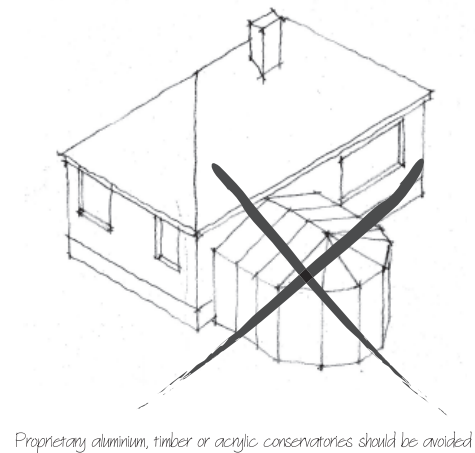
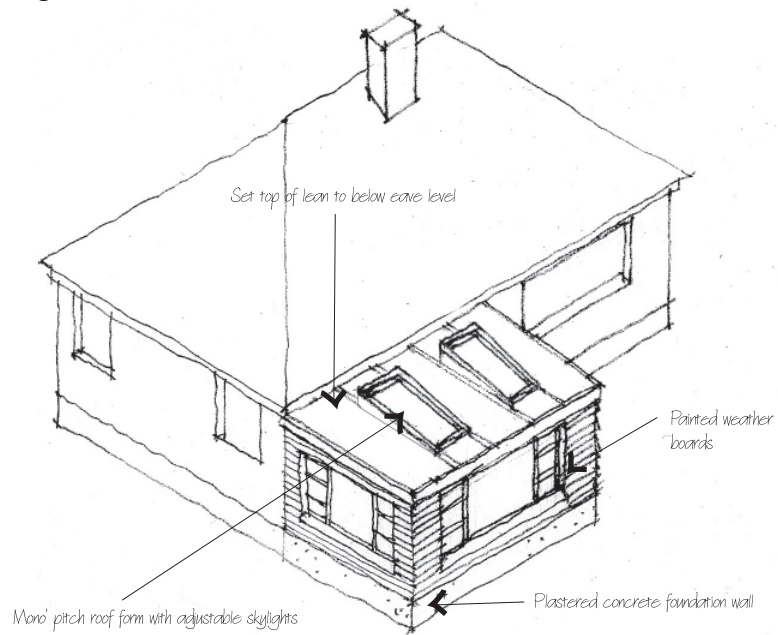
## Single Storey additions

### Flat Roof Form

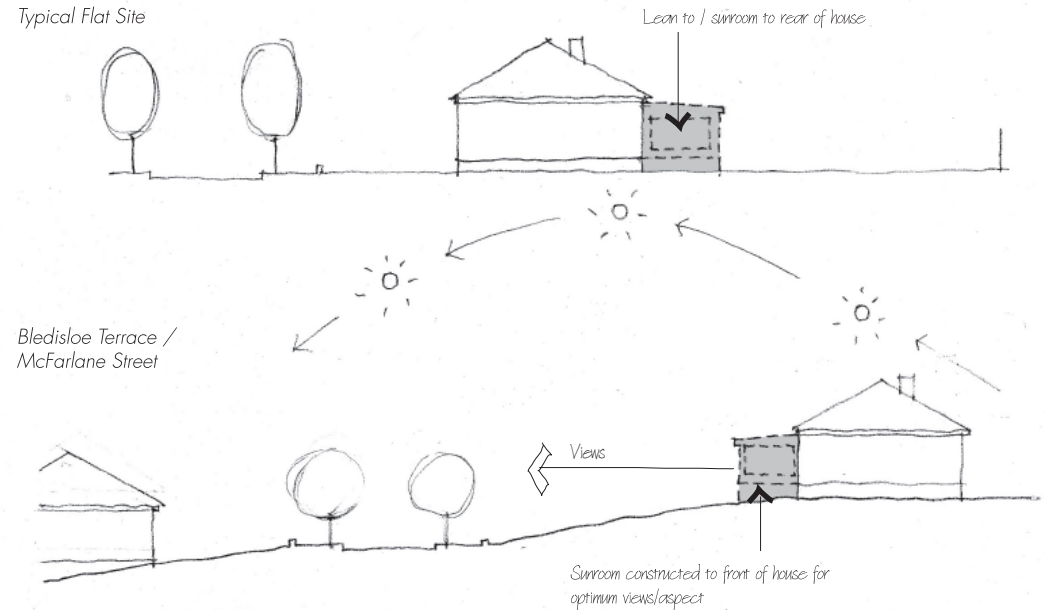
- The flat roof houses in Hayes Paddock are characteristically located in prominent positions and often at street corners. They are all duplex units.
- Additions should be located to the rear of the property, however a rear facing addition may incorporate a narrow side wing (see fig. 2.4), provided the driveway is not obstructed.
- When designing the addition consideration should be given to how this will integrate with future additions to the neighbouring property. For Functionalist houses the addition may be asymmetrical with the original form. Additions to Art Deco / Moderne houses should be symmetrical with the original form.
- Parapet levels for additions should be set below the lowest existing parapet.
- All additions to functionalist / art deco - moderne houses should have plaster finishes, however facing brick may be used to complement existing masonry finishes, if original bricks can be obtained



**Fig. 2.6. Lean - to addition**



*Typical Flat Site*



**Fig. 2.7. Typical sections**

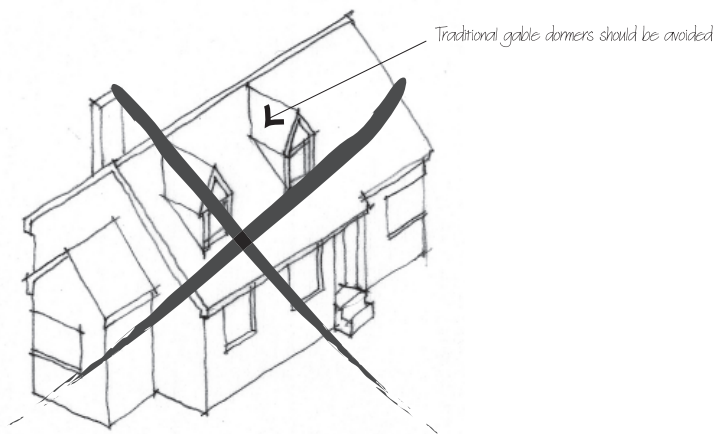
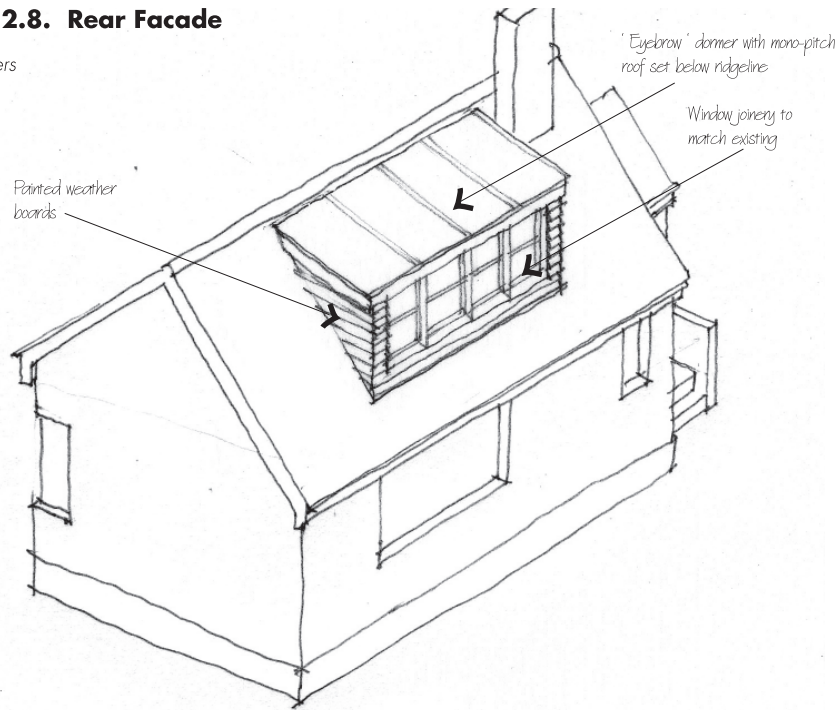
## Lean-Tos / Sunrooms

- Wherever possible lean-tos or sunrooms should be constructed to the rear of the property to preserve the original façade to the street.
- Sunrooms should incorporate some solid walls and use timber joinery to complement the existing house (see part III).
- In cases where the optimum view / aspect (e.g. Bledisloe Terrace - East) for planning a sunroom is to the front of the house, it is critical that the materials and form of the addition complement the existing house and that as much of the original façade is preserved.
- Mono-pitch roofs should be used, set below the existing eave level. If a sunroom is planned, skylights, specially designed for low pitch roofs may be incorporated into the roof form.
- Foundation walls should be continued around the base of the addition in the same paint colour and texture as the existing house.



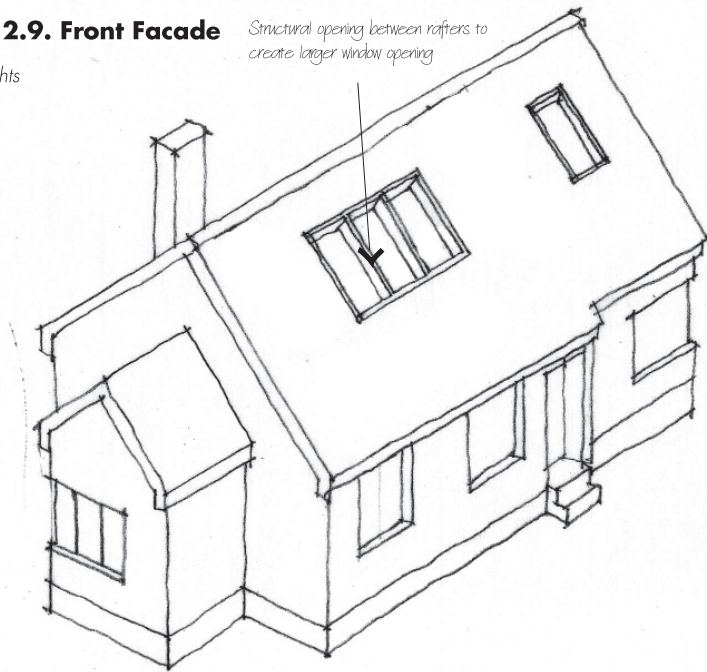
**Fig. 2.8. Rear Facade**

Dormers



**Fig. 2.9. Front Facade**

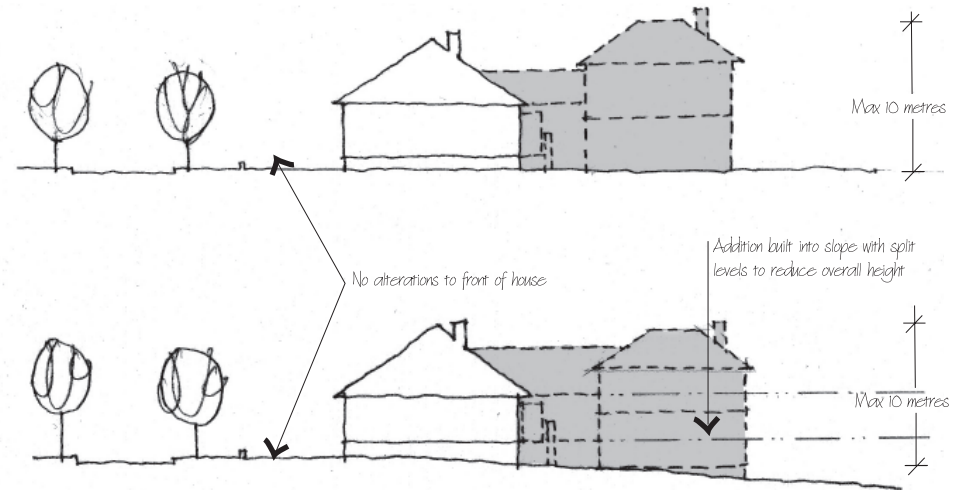
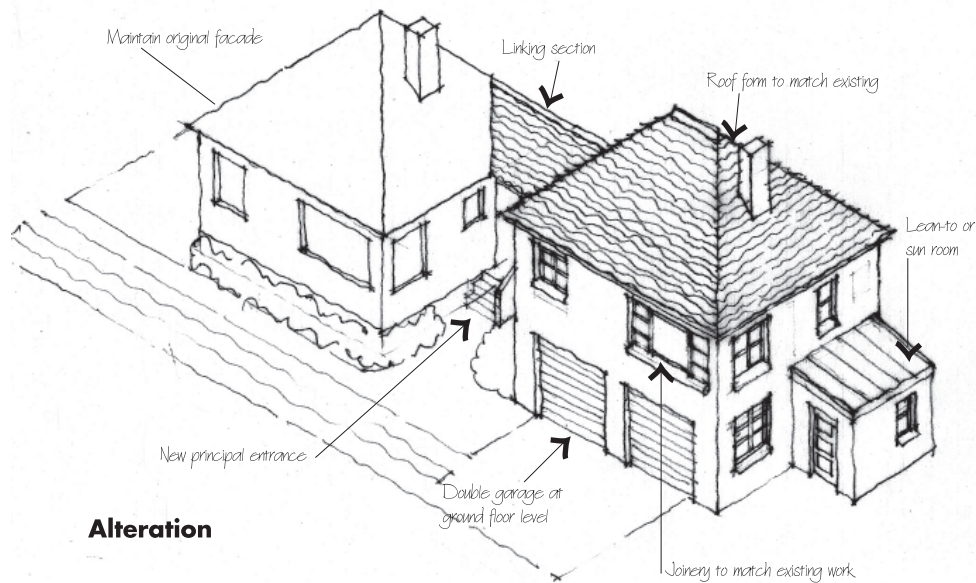
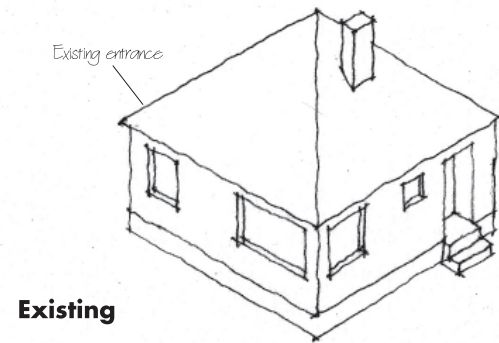
Skylights



## Attic Conversions

- Attic conversions are an efficient and low-impact way of creating more space when there is limited scope for significant external alterations, provided that the roof pitch is sufficient to give adequate headroom.
- Eyebrow dormers should where possible be positioned to the rear of the house.
- Materials and finishes should complement the existing house (see part II).
- Roof additions of all types should not exceed 20% of the overall roof area.

**Fig. 2.10. Flat site two storey example**



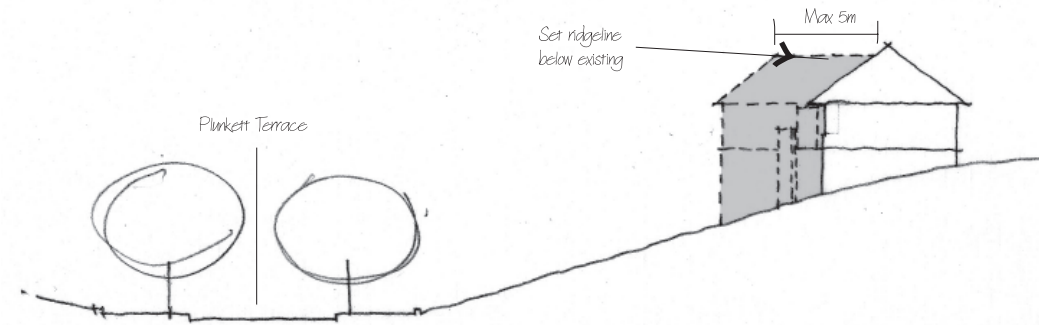
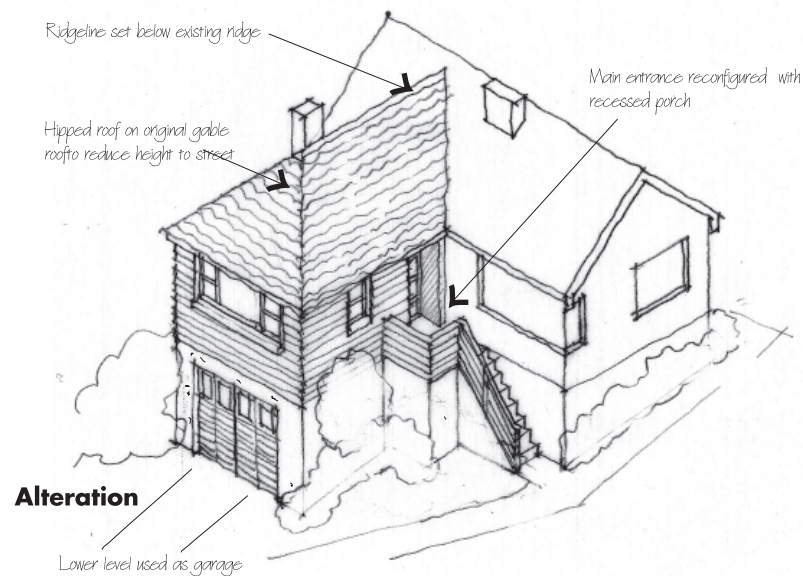
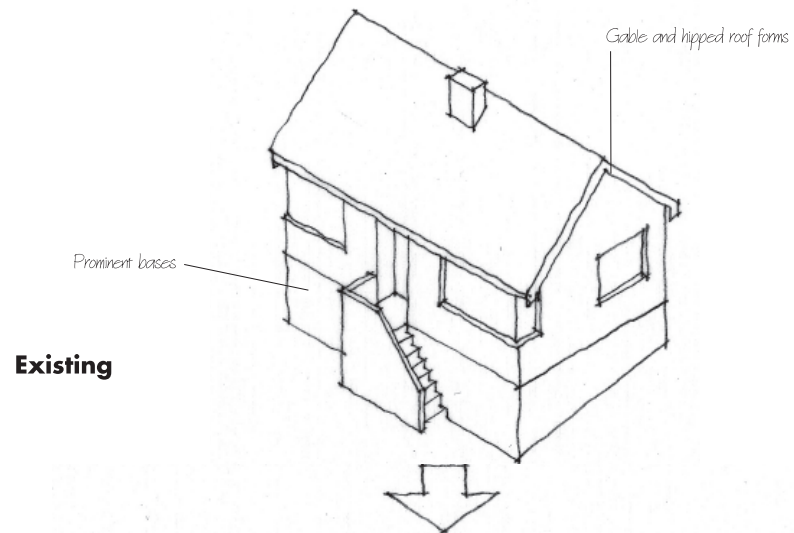
**Fig. 2.11. Flat and descending site two storey examples**

## Two-storey Additions

### Flat site or sloping to rear

- With the exception of Plunkett Terrace (see over), additions to the front of the existing house should be avoided.
- The addition should not dominate the house when viewed from the street and should not exceed the size of the footprint of the original house.
- The addition should incorporate a linking section to minimise alteration of the original house form.
- Roof tiles, window joinery and façade treatments should match the existing materials (see part II). Timber weatherboard may be used to complement an existing masonry or timber facade, but should always have a paint finish.
- Where a section slopes downwards to the rear of the house the addition should be set into the slope to minimise the overall height of the addition.
- Roof forms should match existing forms (e.g. hipped or gabled).
- If additional covered parking is required the extended portion should be planned to incorporate car parking at the lower level. Detached garages should be avoided.

**Fig. 2.12. Sloping site two storey example**



**Fig. 2.13. Plunkett Terrace typical section**

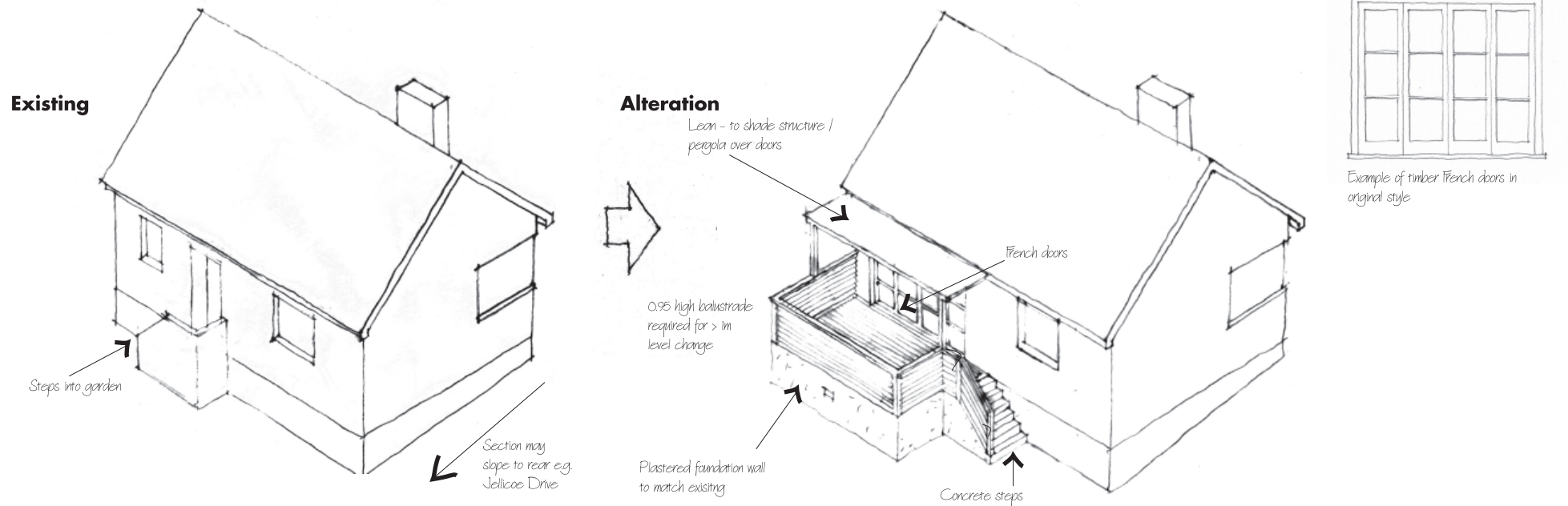
## Two-storey Additions

### Plunkett Terrace

*Note: The example illustrated here applies only to Plunkett Terrace and should not be adopted for other areas.*

- Plunkett Terrace is characterised by its distinct sloping landform enclosing either side of the street and its large front gardens leading up to the houses, which are elevated towards the rear of their section.
- Extending towards the street will provide an opportunity to include a lower level that may be used as a garage.
- The form of the extended portion should be scaled to maintain as much of the original façade as possible.
- The ridgeline of the extended portion should be set below the existing ridge level and should never exceed the height of the original house.
- A hipped roof may be used on existing gable roof forms to reduce impact when viewed from street level.
- The addition should continue the existing materials including roof tiles, external cladding and window joinery (see part II).

**Fig. 2.14. Balconies and decks**



## Balconies and Decks

- Deck or balcony additions can improve indoor - outdoor flow, particularly when there is a significant drop to the garden level (e.g. sloping section).
- Decks or balconies should generally be constructed to the rear of the property, depending on the aspect or view.
- Drops exceeding 1 metre will require 0.95m high balustrading that conforms with the Building Code. Ornate stone or metal railings should be avoided and either plastered concrete or painted weatherboard should be used.
- French doors can be planned in conjunction with a new deck / balcony to relate the 'outdoor room' to the indoors.
- Timber shade structures or pergolas can be constructed over French doors for shade and should have a painted finish.
- Retaining walls should be constructed using plastered concrete to match the existing foundation walls. Timber 'half-round' retaining walls should be avoided.



# Materials and colour schemes

## Roofing

- When contemplating additions, new roofs should match the original in terms of materials used. For example, corrugated steel should never be used on additions to tiled roof houses. Wherever possible, second hand tiles should be used and the first contact should be with demolition yards or roofing contractors who sometimes carry supplies of such tiles.
- New clay tiles which are a reasonably good match can be obtained under the brand of "Wunderlich". Concrete tiles are far more difficult to match with modern profiles differing substantially from older tiles such as are found at Hayes Paddock.
- If new tiles are to be used, they should be used on distinct areas of the roof and preferably where they are not visible from the road. New and old tiles should never be mixed on the same roof plane.
- As a last resort, it may be necessary to consider reroofing the whole house if a suitable tile match cannot be obtained. Clay tiled roofs should always be replaced with new clay tiles and concrete roofs with new concrete tiles to maintain the character of Hayes Paddock.
- Houses such as those in the bungalow style with corrugated steel roofs should have new roofs of corrugated steel.
- Where houses with flat or lean-to roofs are being extended, new roofs should be clad with a proprietary bituminous or rubber-based membrane product. Corrugated steel may be used where it cannot be seen from the road.

## Walls

- In general, new additions should be clad with the same wall material as the original house. The profiles of new weatherboards and board and batten sheathing should match the original.
- Bricks are notoriously difficult to match with new bricks being quite different to older bricks. One option may be to use second hand bricks, however, such bricks are inevitably chipped or otherwise damaged or may have mortar adhering. For this reason, the use of second hand bricks is not recommended.
- If the bricks have previously been painted, it may be possible to disguise any difference in colour or texture with the paint finish. Brickwork that is currently unpainted should not be painted.
- Because many houses in Hayes Paddock already use a combination of wall materials, it is acceptable for additions to brick veneer houses to be clad with weatherboards, board and batten or have a plaster finish.
- Plaster walls and bases in Hayes Paddock typically have a splatter dash finish with a variety of patterns depending on the style of the individual tradesman. New additions should have a solid base with a similar decorative pattern to the original. Plastered wall surfaces should be treated in a similar manner.

## Joinery

- New window and door joinery should be timber. Aluminium joinery is not appropriate even for new additions. Existing timber joinery should not be replaced with aluminium.
- Pine and cedar are acceptable timber species for new joinery. All new joinery should have a paint finish.

## Detailing

The houses at Hayes Paddock used a variety of details as a way of making virtually every house different from its neighbour. Details included shutters and doors in various styles, leadlight windows and varying gable end treatments.

- Features should be replicated where appropriate when constructing additions. For example, if the house has shutters, the new addition should have the same.
- Other details such as eaves and gable end treatments should also match the original details.

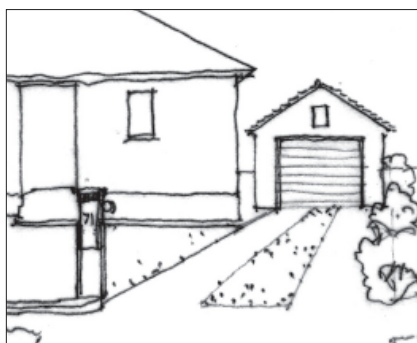
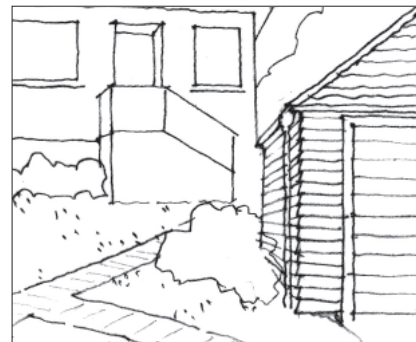
## Colour schemes

Careful scraping down through the various layers of paint may reveal the original colour scheme. Note that primers and undercoats of a different colour may have been used under the finish coats. The original colours may also have been sanded or burnt off in subsequent repaintings. Original colours are more likely to survive in areas away from the sun, for example, the undersides of window sills

- Once the original colour scheme has been determined, consideration should be given to its reinstatement as a way of preserving the house's original character.
- If a contemporary colour scheme is desired, the current trend for neutral or muted colours with stronger accent colours is well suited for the houses in Hayes Paddock. The main wall colour might be grey, grey-brown, off-white, stone, buff, cream or possibly pink.
- Stronger colours including green, blue or terracotta may be used for elements such as shutters, doors and window sills. These colours should never be the predominant colour.
- Joinery should generally be painted white or off-white, however, if the walls are a light colour, a slightly darker colour may be used for the joinery.
- Both ends of a double unit or, in the case of a triple unit, each of the three sections, should be painted in the same colours.
- Existing red or buff coloured bricks should be left natural and not painted.

## Suggested Colours

Resene Paints have a range of designated heritage colours, of which a number would be suitable in Hayes Paddock. Some colours from the Resene Lumbersider Naturals and Resene Whites and Neutral ranges may also be appropriate. Other manufacturers will produce equivalent colours.



## Design Summary Checklist

### have you:

Investigated options for building your carport or garage to the rear of the property?

If building in front of the house, positioned your garage or carport to retain as much of the front facade of the house as possible?

Designed the roof form and materials to match the house?

Considered extending your house to accommodate new covered parking into the existing roof form ?

Used materials and finishes that complement the existing house?

Restricted use of any proprietary garage to the rear of the property?

Oriented the garage or carport to reduce the amount of hard paving required ?

Used concrete paving in keeping with original driveway design (with grass strip between wheel tracks)?

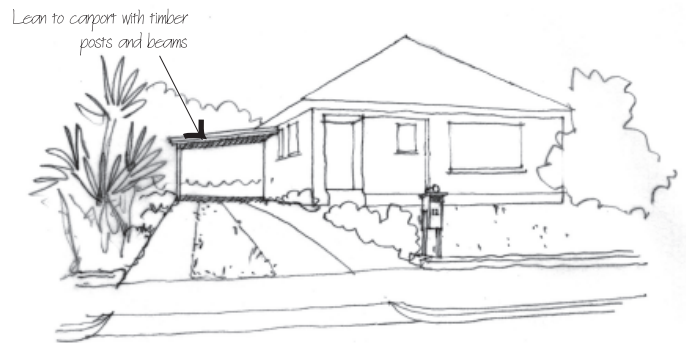
Retained footpath and original drop kerb details beside grass verges?

Used tree planting to soften the impact of the addition?

## Garages and Carports

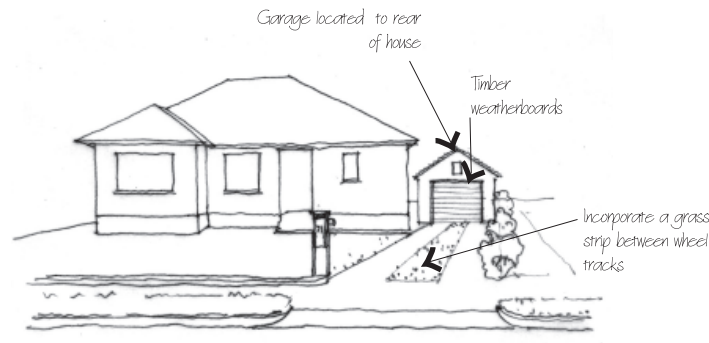
Garages were generally not provided at the time the houses in Hayes Paddock were built. In some instances, garages were built soon after and examples of these survive. With modern living and greater reliance on the car covered parking on site is generally seen as desirable. Garages should be designed to complement the house and sited to reduce their impact on the view from the street. The following guidelines are provided.





**Fig. 2.15**

Free standing or lean-to carports positioned to the side and behind the front of the house are discreet and simple to construct. The top of the carport should be set below the eave of the house.

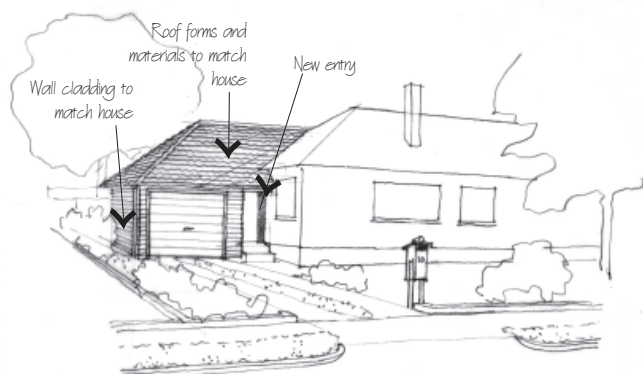


**Fig. 2.16**

Garages positioned to the rear of the house are less intrusive to the street aspect. Avoid large expanses of concrete driveway by introducing a grass strip between the wheel tracks

## Where should I build my garage?

- Any form of building towards the front of a section should generally be avoided to maintain the open aspect of the house towards the street. Wherever possible garages should be located to the rear of the section or at least behind the line of the front wall of the house to minimise intrusion on the street aspect.
- If a house is being extended at the upper level a garage can be incorporated underneath (refer fig 2.23).
- Garages or carports built onto the side of the house should generally be set behind the front wall of the house (refer fig. 2.17).
- Garages should face the road as they require less driveway than those built at right angles to the road.
- If stand-alone garages or carports have to be located in front of the house, they should be sited close to a side boundary and set back as far as possible from the street to keep the house as open as possible to the street (refer fig. 2.24).



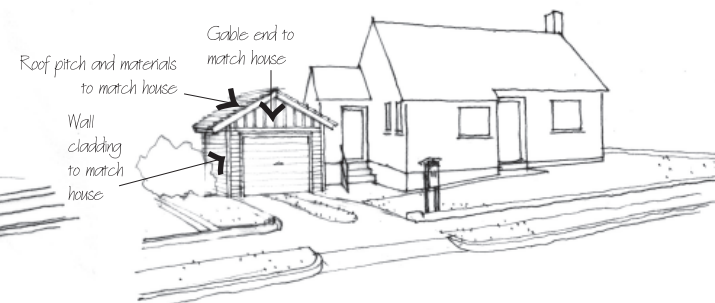
**Fig. 2.17**

*If a garage is planned as part of a side addition it should stand back from the main façade and continue the scale, form and materials of the house.*



**Fig. 2.18**

*Constructed as part an addition to the side of the house, the garage can be positioned at the lower level.*

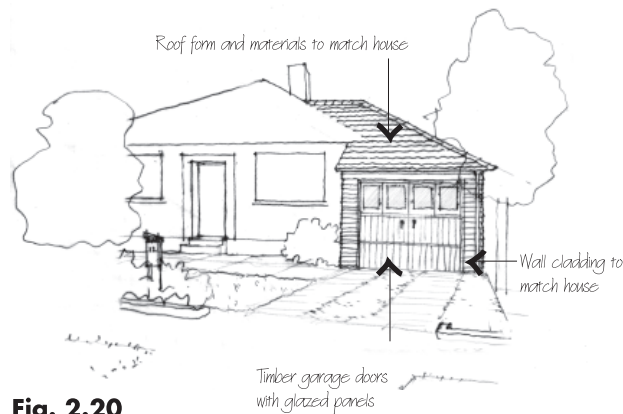


**Fig. 2.19**

*Stand-alone garages should be set back from the front boundary and the roof form and materials should match the house*

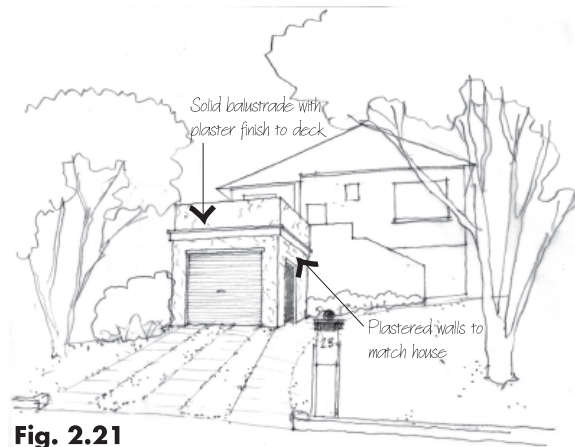
## What should it look like?

- Garages should be discreet and constructed to match the form and materials of the house. The best examples of new garages in Hayes Paddock are those that appear to be part of the original construction.
- Garages built as part of a general extension are often less obtrusive than stand-alone garages, provided the form and materials of the overall extension match the house.
- Garages built as extensions should maintain the roof form and materials of the house. For example if the house has a hipped, concrete-tiled roof the portion of roof extending over the new garage should match.
- Proprietary, 'off-the-peg' garages should be confined to the rear of the property.
- Garages constructed to the rear of the house have a much-reduced impact and their form and appearance is therefore less critical. (refer fig. 2.16)
- Open carports or single garages should be used in preference to double garages, which can overwhelm the scale of the house and streetscape. If space is required for two cars, consider building a single garage with a carport attached. (refer fig. 2.27)
- Carports can either be freestanding or attached to the side of the house.



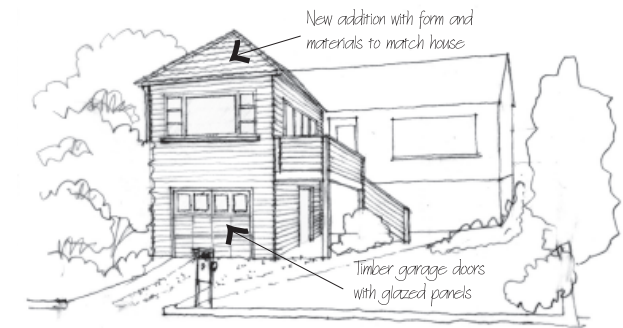
**Fig. 2.20**

*Keeping the ridge and eave levels at a reduced height to the house helps to reduce the impact of a garage addition. Where garage doors are prominent, timber doors with glazed panels should preferably be used.*



**Fig. 2.21**

*A garage may be planned to project outwards from the house to take advantage of the slope and incorporate a deck above. The balustrade should continue the materials of the house, in this case a plaster finish is used.*

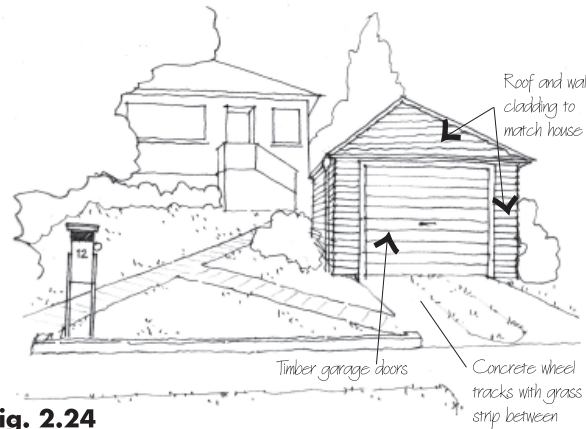


**Fig. 2.22**

*Where a new upper level addition to the house is planned the garage can be incorporated below. Materials and roof form should match the house. Structure planting will help to reduce the impact of the addition.*

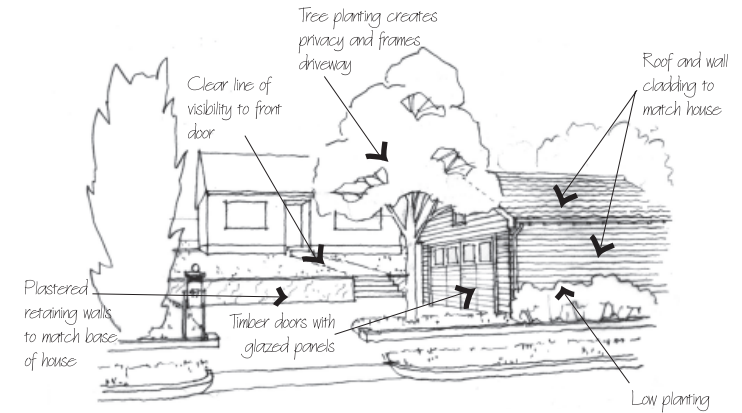
## What should it be built from?

- Materials should be similar to the house. Pitched roofs may be tiled although corrugated steel is also appropriate in stand-alone garages or carports.
- Walls should generally be clad with painted timber weatherboards. Weatherboard garages for brick houses are also appropriate.
- Single width garage doors should be used in preference to double width ones. Timber doors possibly with glazed panels are more sympathetic and in keeping with the other openings of the house and are therefore more appropriate than metal doors, particularly if the garage becomes a dominant structure. (refer fig. 2.26) If metal doors are to be used these should avoid unnecessary detail or relief.
- If double garages are constructed to the front of the house they should have shallower pitched roofs to reduce their impact.
- Carports should be constructed using timber posts and beams and may have flat or lean-to corrugated steel roofs. Lean-to roofs are usually more appropriate when the carport is attached to the side of the house (refer fig. 2.15).
- If the garage construction requires retaining walls to the adjacent garden areas these should be constructed with a painted rough-cast plaster finish to match the base of the house (refer fig. 2.25). Wherever possible retaining walls should be integrated with the garage.



**Fig. 2.24**

Where they cannot be avoided stand-alone garages in front of the house should be positioned adjacent to the side boundary so that the view of the house and garden is not obstructed. A hipped roof form is less obtrusive.



**Fig. 2.25**

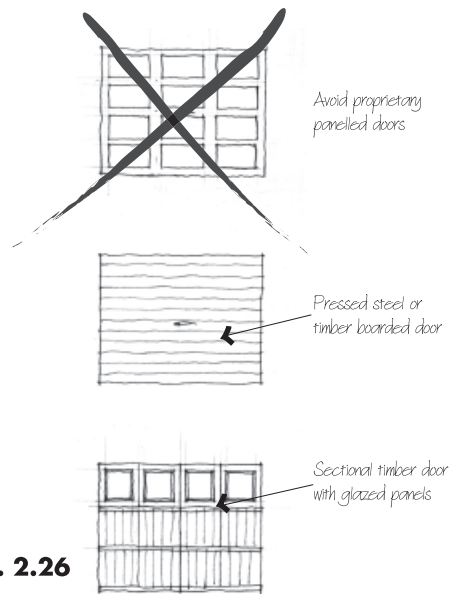
'Off-the-peg' double garages and timber log walls should be avoided, especially when building in front of the house. Tree planting will help to soften the bulk of the garage and frame the entrance to the driveway.

## What sort of paving materials should I use?

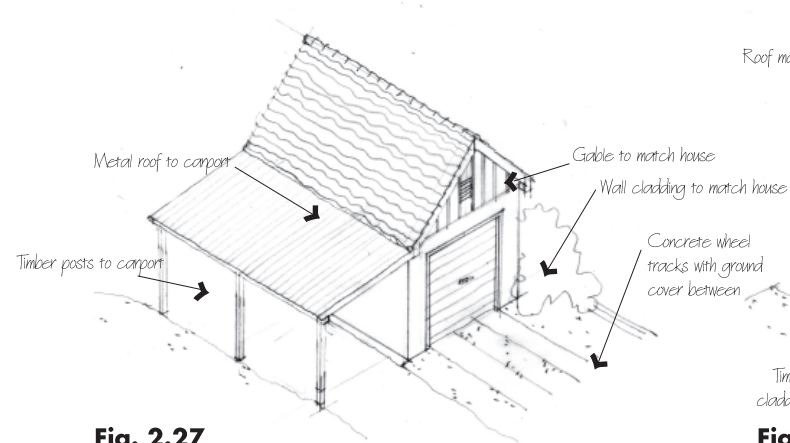
- The traditional type of driveway in Hayes Paddock uses concrete poured on site with a brushed / ribbed finish laid in two wheel tracks with grass between. Wherever possible this style should be used on new driveways.
- Where driveways are constructed on a slope the concrete wheel tracks should be ribbed for better tyre grip.
- Where a 'solid' poured driveway is desired consider maintaining the two wheel tracks with a contrasting finish or material between.
- Paving materials such as concrete slabs, bricks / cobbles or pressed concrete should be avoided for driveways.

## How do I use planting to integrate my garage / carport?

- If a garage has to be constructed to the front of the section its impact can be softened with new 'structure' planting. A feature tree or group of trees with a light canopy, such as Silver Birch or Gleditsia will help to balance the scale of the garage, without causing excessive shade. (refer fig. 2.25)
- Tree planting will also help to break up large expanses of wall and roof.
- Evergreen or heavy shade trees should be avoided, as these will impact on light to the property as well as the street aspect.
- Low hedges or shrub planting at the base of the garage will soften the garage against the ground. (refer fig. 2.25)

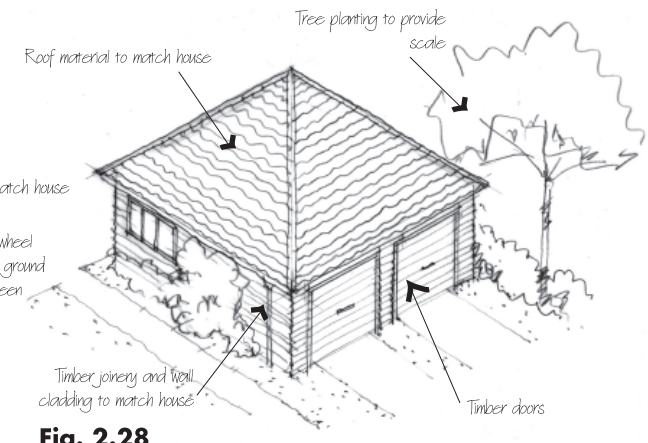


**Fig. 2.26**



**Fig. 2.27**

*If more than one car parking space is desired, consider building a single garage with a lean-to carport.*



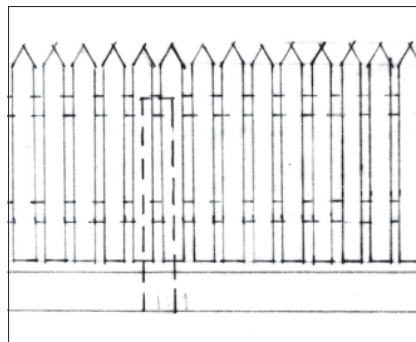
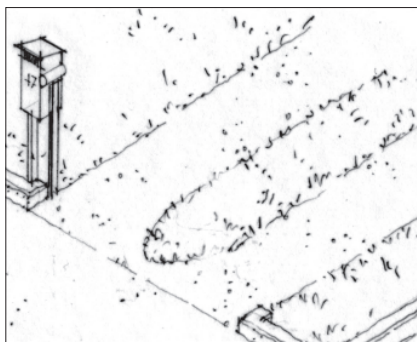
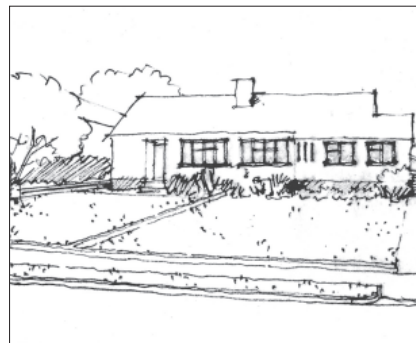
**Fig. 2.28**

*Double garages need very careful design and placement if they are to avoid dominating the house and street. If desired they should be constructed using carefully selected materials to match the house. Window openings and dual timber doors (possibly with glazed panels) will help to break up large expanses of wall.*

## What should I avoid?

- Dominating the street and your frontage with a garage.
- Positioning your garage so that it occupies the whole front garden and screens the house from the road.
- Siting a double garage with the vehicle entry at right angles to the street boundary.
- Using an architectural style or materials that contrast with your house.
- Using a building form that doesn't relate to your house such as a mono-pitch roof on the garage when the house has a hipped roof.
- Creating a large driveway that requires a lot of retaining walls. If retaining walls are required these should be in plaster and match the colour and texture of the masonry on the house. Unpainted timber retaining walls should be avoided.





## Design Summary Checklist

### have you:

Developed a simple, uncluttered front garden that contributes to the overall community space ?

Avoided fancy boundary fencing or tall, non-permeable fencing treatment?

Retained/restored the concrete nib defining the front and side boundaries of the property?

Painted all timber fencing and deck balustrades?

Ensured that side fencing is kept behind the line of the front facade of the house?

Maintained the original grass strip in your driveway?

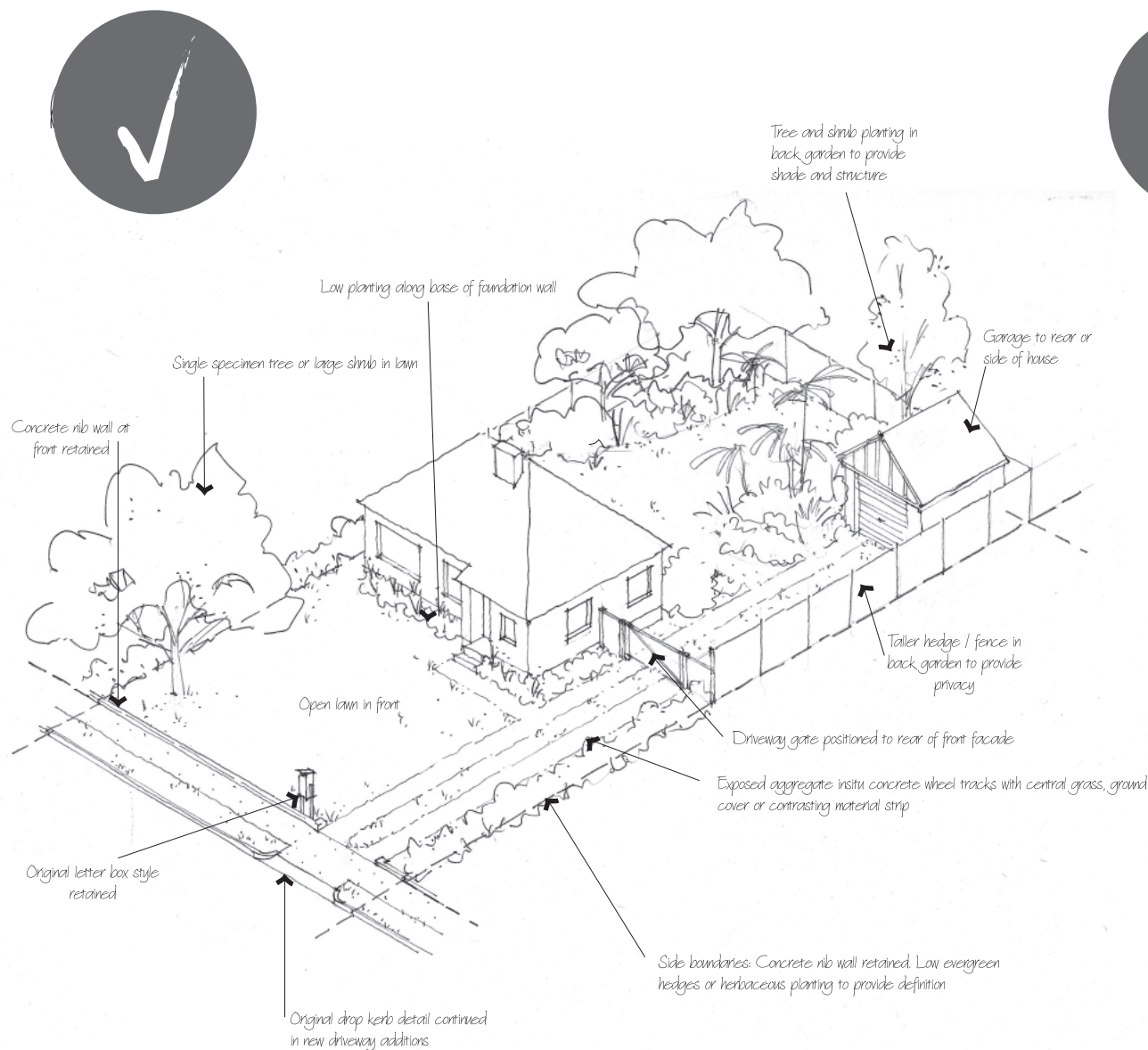
Maintained or replaced your letterbox to match the original letterbox style?

Maintained rear boundary fencing in good state of repair ?

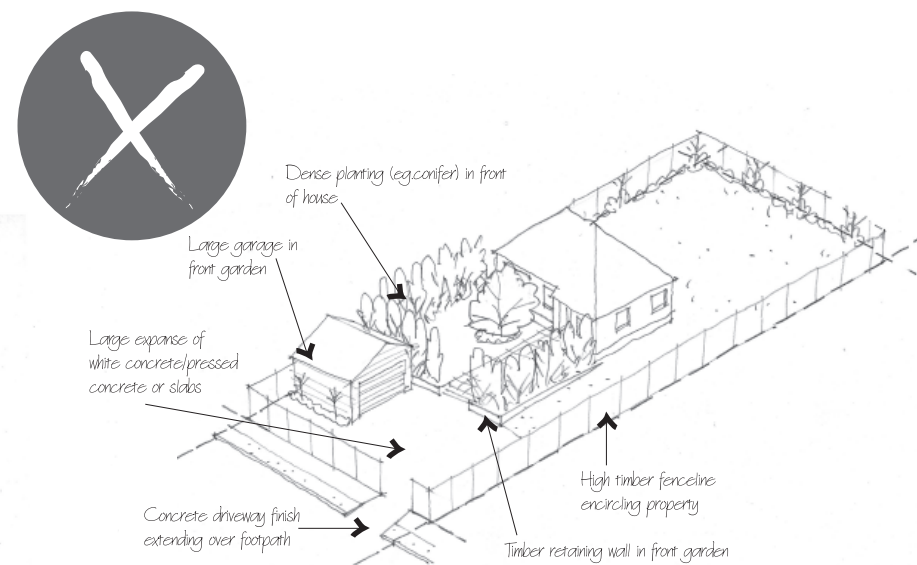
Used trees to soften or integrate building forms ?

## Gardens and Boundaries

Gardens in Hayes Paddock were originally designed with an open, public and neighbourly concept in mind that was characteristic of the garden suburb model. Many distinguishable garden elements contributing to this character and visual unity still remain. When contemplating alterations to gardens, homeowners should integrate alterations with these elements, which remain particularly important to the retention of the heritage value of Hayes Paddock.



**Fig. 2.29a.** Typical view of preferred garden and boundary treatments

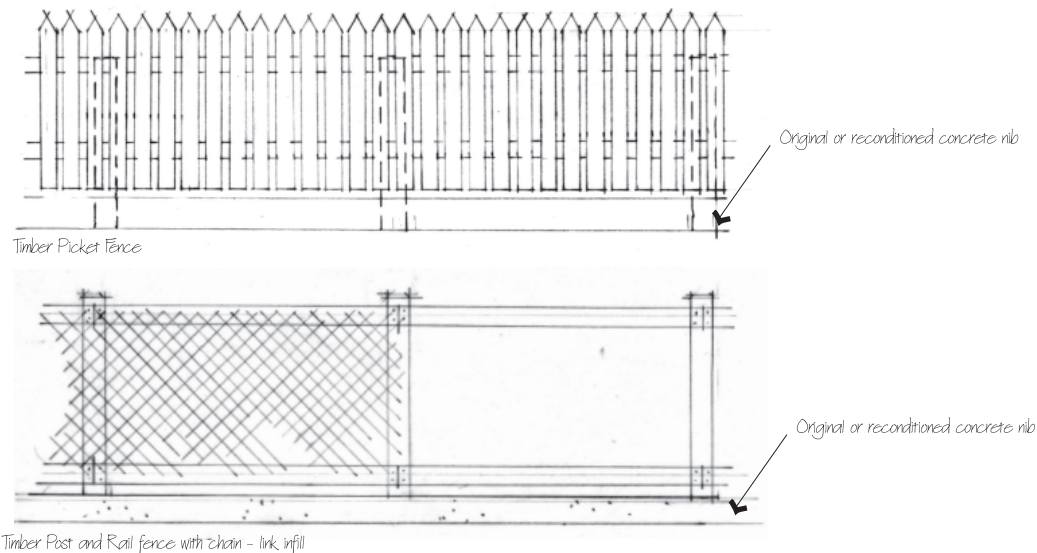


**Fig. 2.29b.** Typical view of garden and boundary treatments to be avoided

## Garden guidance notes

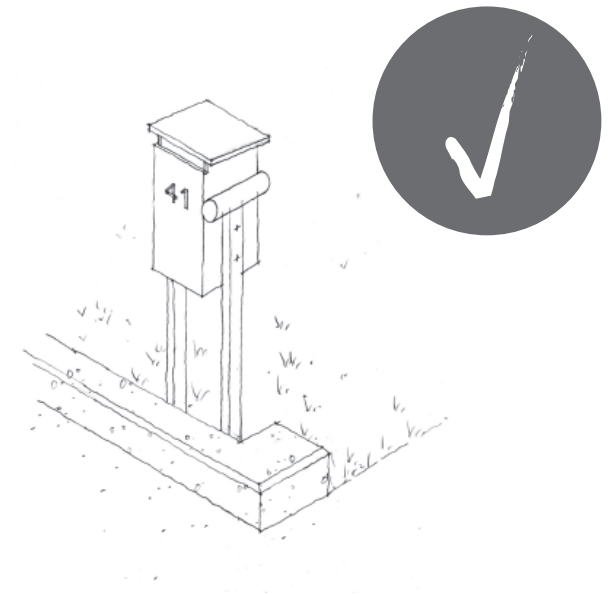
- The open character of front gardens should be retained to preserve the garden character of the street. Garage additions or large paved areas to the front of the section are discouraged.
- Low original concrete nib walls, where they still exist should be retained, particularly at the front of the property. Replacement nibs should meet the precise height and width of any existing adjacent nib.
- Driveways and footpaths should be constructed using exposed aggregate or brushed insitu concrete. A grass strip should be incorporated between wheel tracks to reduce the volume of concrete. On sloping sections a ribbed finish may be incorporated into the finish for additional grip.





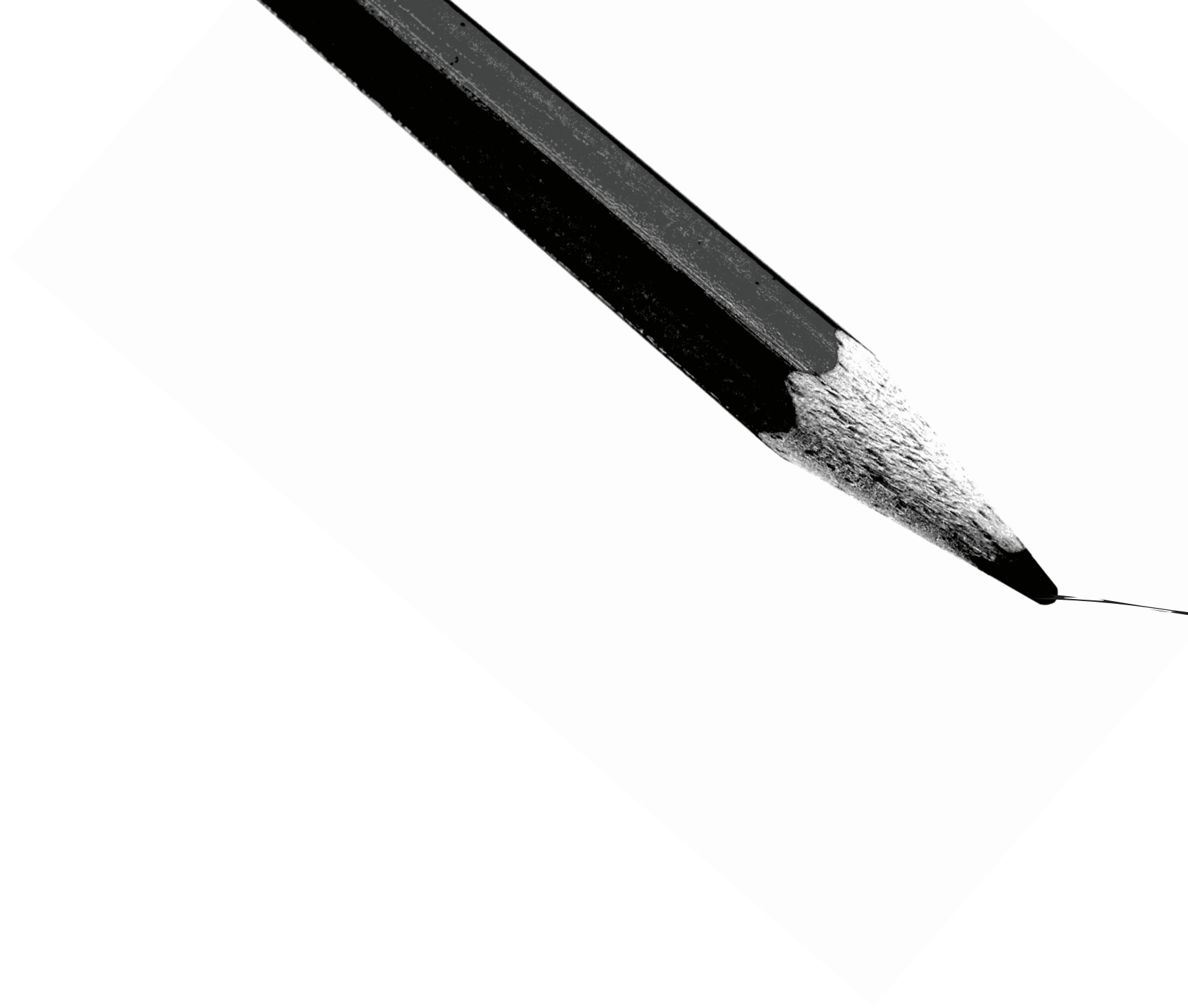
**Fig. 2.30.** Examples of boundary fencing of the preferred permeable type

- Planting in front gardens should be kept simple and uncluttered and should not fully obscure the front of the house. A single tree or large shrub planted as a specimen is in keeping with the original concept. Low evergreen hedges such as Escallonia or Griselinia can be used to provide definition at side boundaries.
- Ground cover planting may be used at the bases of foundation walls of houses particularly where the houses are located within a sloping section.
- Tree planting and shrub / hedge structure planting in back gardens provides shade and is encouraged for its overall contribution to the local biodiversity and microclimate.
- Boundary fencing of any description should generally be avoided at the front of the house and concrete nib walls, possibly with additional low hedge planting should be retained. If a fence is desired this should have a maximum height of 1.2 metres and should be permeable and based on a simple design (e.g. wire mesh or picket style). It should always have a paint finish (not left as plain timber finish).
- The original style of letter box shown in the illustration should be retained and maintained and wherever possible replacements should match the original type. Many of the original letterboxes still remain at Hayes paddock.



**Fig. 2.31.** The original style of timber letter box and concrete nib wall provided at Hayes Paddock

- Divider fences constructed to the side of the house should be set back behind the front facade so that they recede when viewed from the street. Ideally these should be lightweight, such as the lattice or trellis variety, for example.
- Fencing to the rear of the property is less important to the overall unity of the precinct as viewed from the street, however stained timber or wire mesh and timber frame fences are preferred.



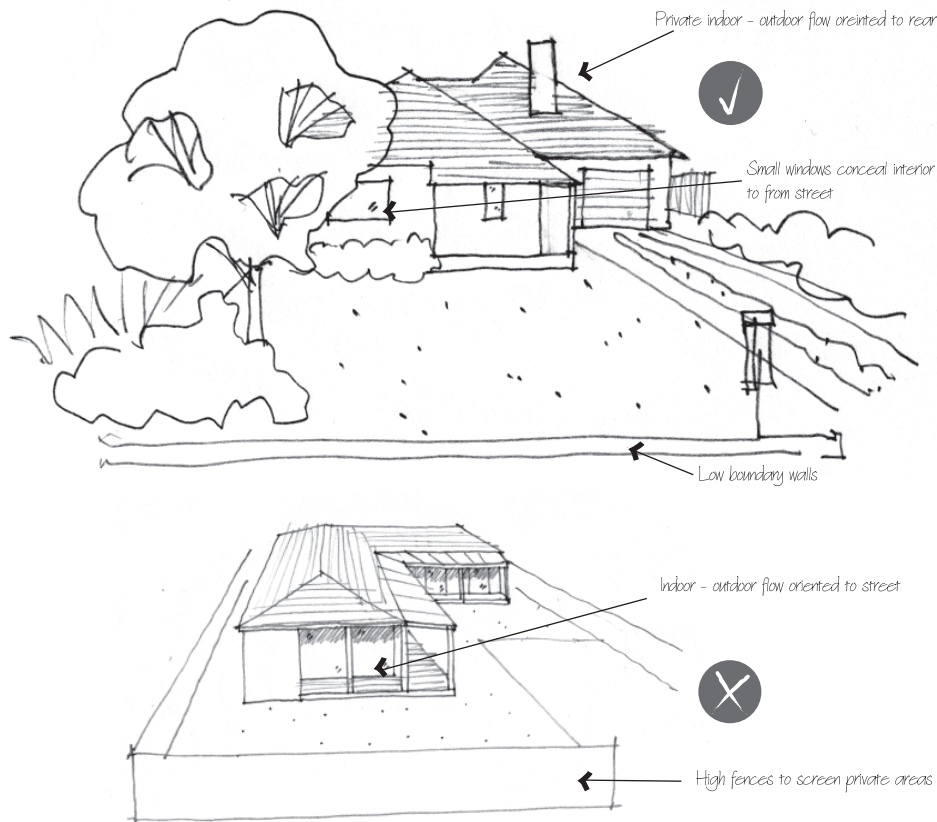
# PART III

Building a new house - outline  
recommendations

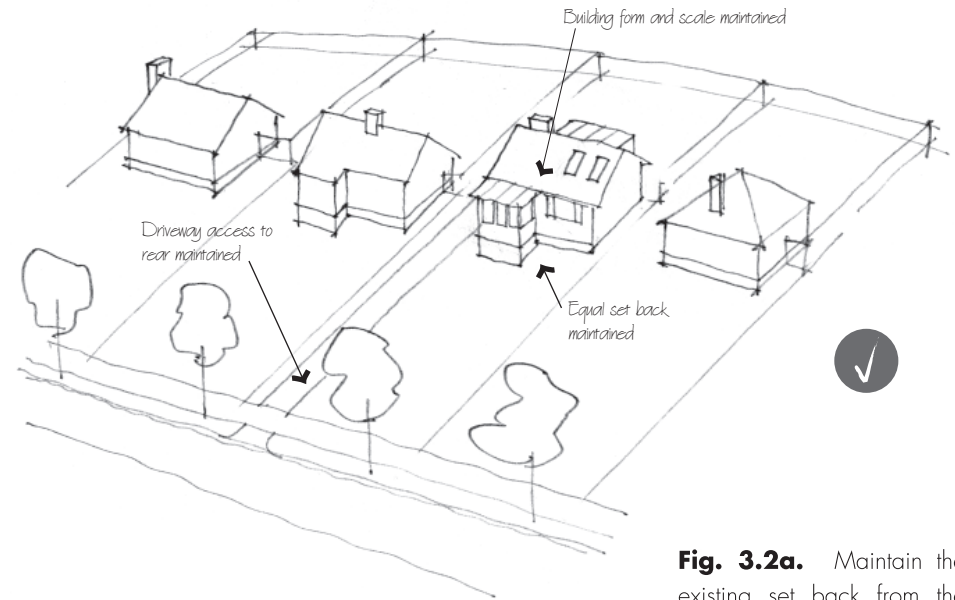


## What should a new house look like?

In Hayes Paddock, each of the existing houses contributes to the overall heritage values of the area. If any one house is removed or demolished, the heritage values of the area and the remaining houses are reduced. For this reason, it is strongly recommended that the existing houses be retained and added to or altered as required, rather than demolishing them. Where it is proposed to construct a new dwelling, the following guidelines are provided:



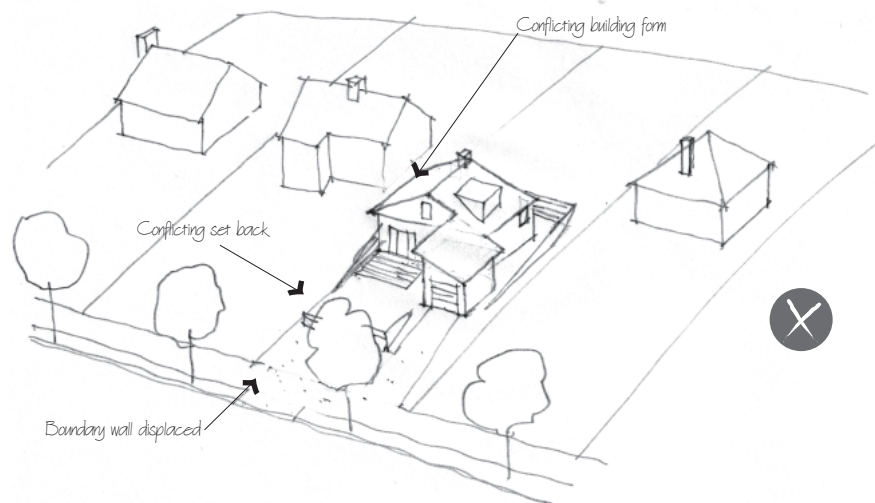
**Fig. 3.1.** Keep the front facade relationship to the street open



**Fig. 3.2a.** Maintain the existing set back from the street

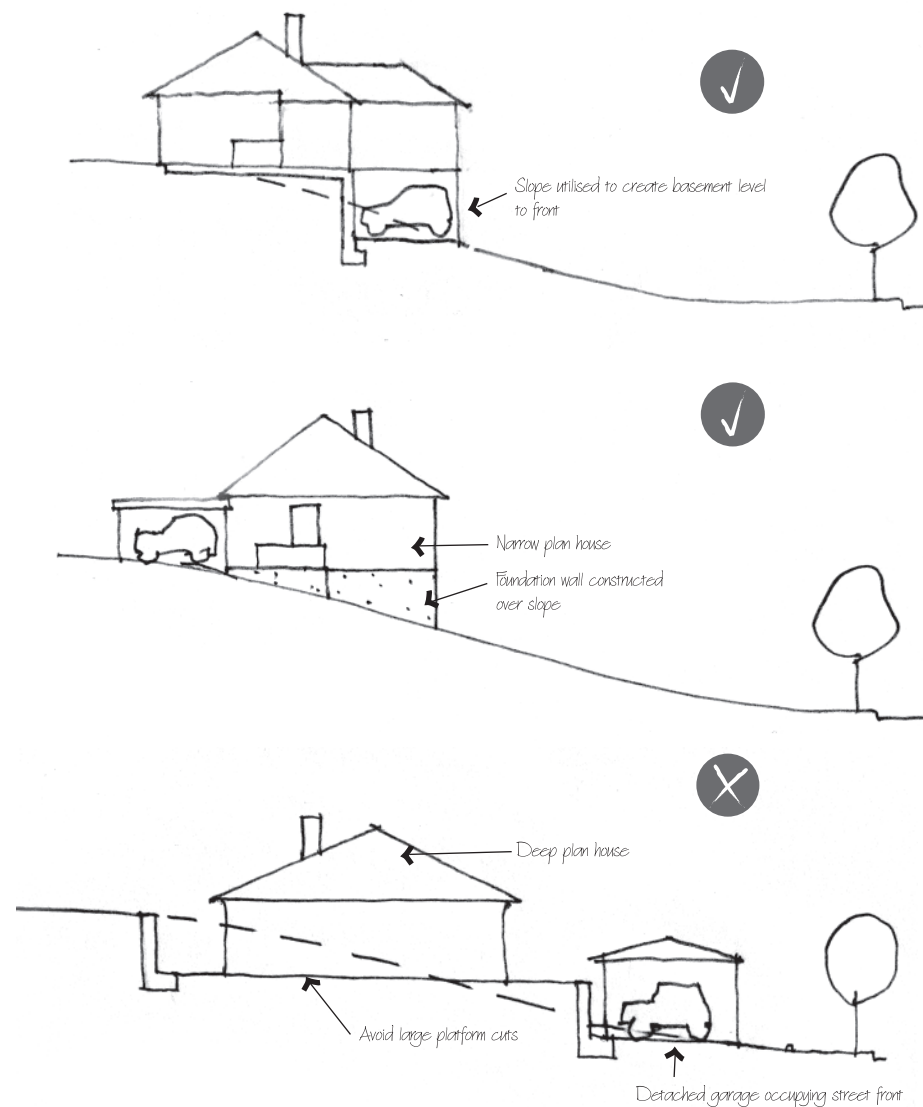
## Siting and location

- The siting of a new house should maintain the “rhythm” of the existing houses and the early pattern of development. Existing setbacks from the road and side boundaries as well as orientation should be maintained (see fig. 3.2a & b) - on the western side of Plunkett Terrace for example, the original houses were sited lengthways along the ridge or on the upper slopes.
- New house layouts should “go with the grain” of the existing landform and contours. Large platform cuts and retaining structures should be avoided. (see fig. 3.3)
- The original planning philosophy of the garden suburb, in which the space between the front façade and garden wall is visually part of the street landscape, should be maintained. To achieve this the front façade cladding should adequately conceal the interior space of a new house so that high boundary walls and fences are not needed to screen the living areas (see fig. 3.1). Conversely, the rear facade of a new house may be planned to maximise openness and indoor-outdoor flow to the private back garden, substituting traditional doors and windows with glazed sliding partitions for example.

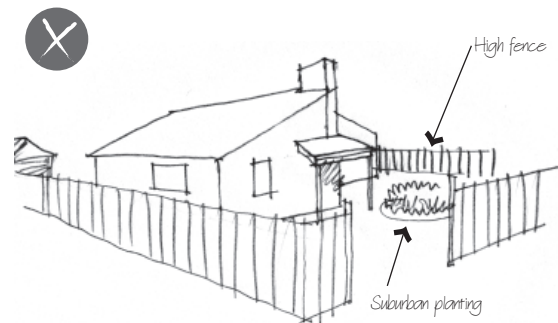
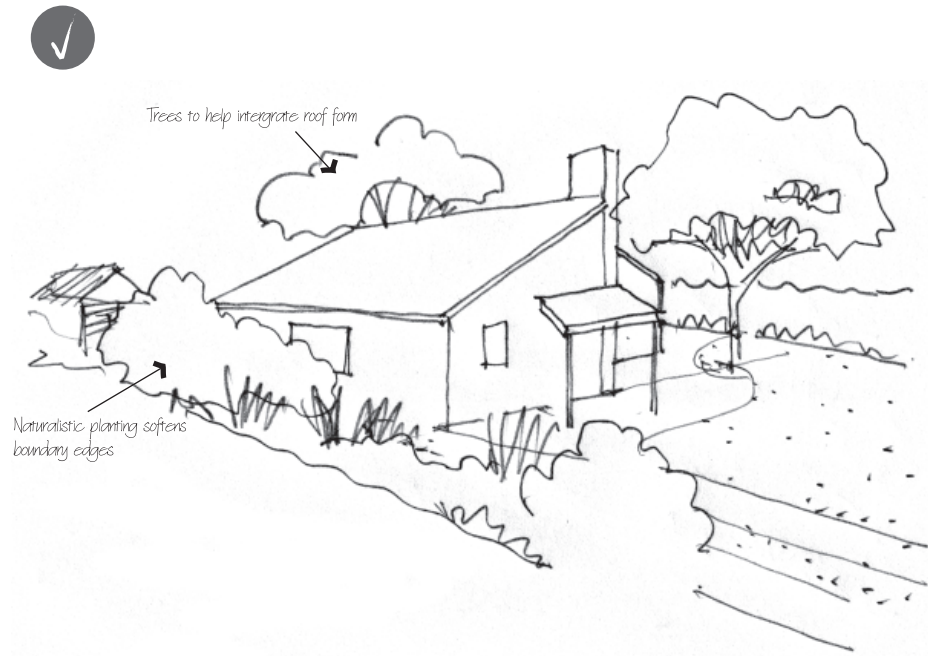


**Fig. 3.2b.** Don't break the existing rhythm or street setback or enclosure

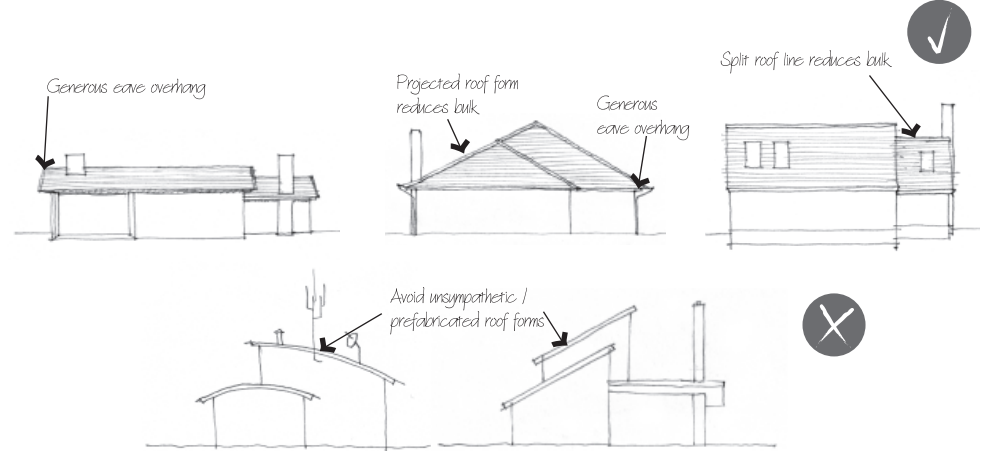
- New houses should be planned to resolve car-parking requirements. Consider integrating the garage / carport within the main form of the house as opposed to building a detached garage or carport. (see fig. 3.6)
- Existing features should be retained / repaired, such as driveways, nib walls and letterboxes for example. The garden landscape setting of a new house is a vital key to successful integration with its surroundings. (see fig. 3.4) Existing trees should also be preserved to soften the impact of the new building. Tree Protection measures should be implemented during construction – if in doubt contact a council tree officer or arborist.
- Large forecourt areas in front gardens are out of character with the original front gardens and should be avoided. If parking areas are to be enlarged, say for storage of a trailer, provision should be made to the rear of the property.



**Fig. 3.3.** Build with the slope, not against it



**Fig. 3.4.** Use trees and plants to create a sympathetic setting for a new house

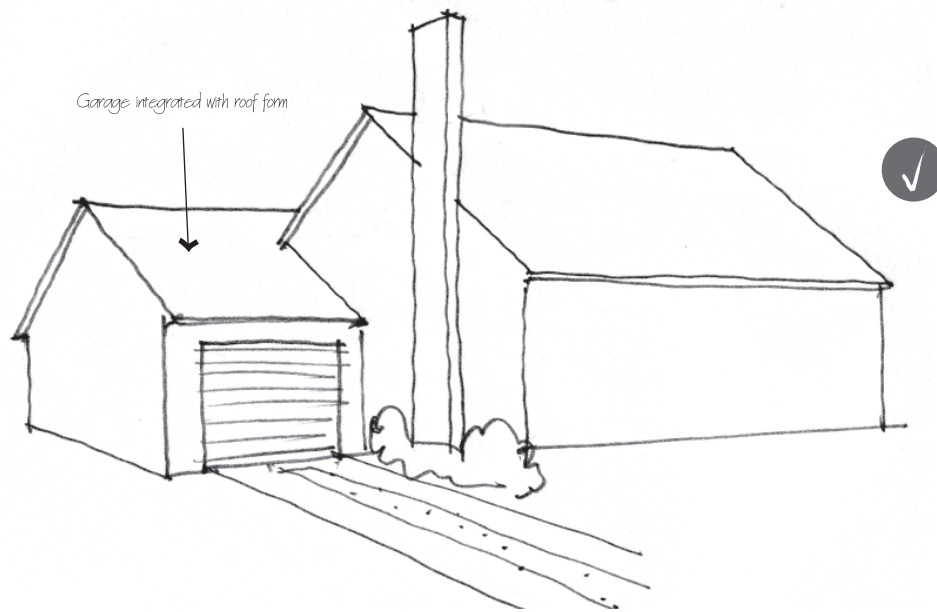


**Fig. 3.5.** Avoid complicated or unsympathetic roof forms

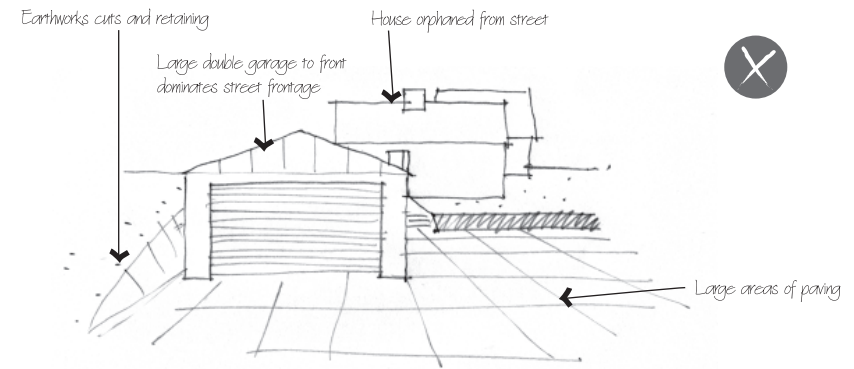
## Architectural Forms

- A new house should not seek to replicate or copy the existing houses of Hayes Paddock. Rather, it should be recognisable as a well-designed contemporary house of the period in which it was built. A new house should, however, respond and be sympathetic to its older neighbours.
- New houses should have a simple, well-proportioned form. They should avoid complicated, over-elaborate layouts and excessively detailed external features.
- A new house should relate to its immediate neighbours in terms of its architectural form and building outline. Ideally, it should also be of a similar size and scale to the older houses. As the majority of houses in Hayes Paddock are singled storied, new houses should be of a similar scale. If a larger scale house is desired, it should be articulated to reduce its apparent bulk.
- Because the majority of houses in Hayes Paddock have hipped or gabled roofs, consideration should be given to having at least part of the roof of a new house pitched. (see fig 3.5) However, it is acknowledged that some mono-pitched or flat roofed houses are also found in Hayes Paddock and contemporary roof forms similar to these therefore can also be appropriate.





**Fig. 3.6.** Integrate car parking within the form of new house



## Materials

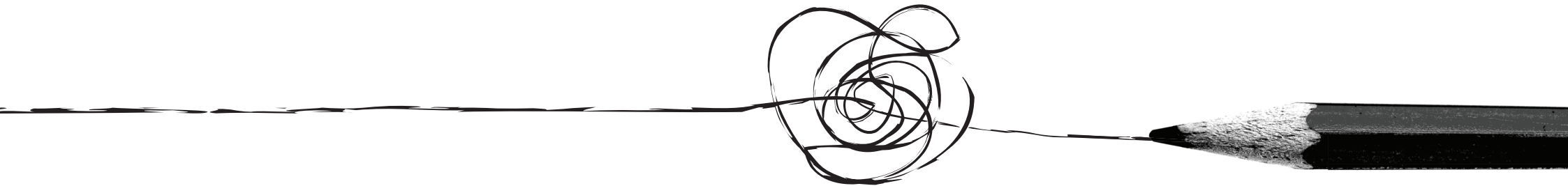
- Materials should be similar to the older houses. Weatherboards and plaster surfaces are appropriate and consideration should be given to using timber joinery.
- Large flat sheet wall linings, modern reflective materials or imitation stone claddings should be avoided.





# APPENDICES

- bibliography and photo and design credits
- Cadastral Plan



# Appendix 1.

## Bibliography and photo and design credits

### Bibliography

Dave Pearson Architects Ltd, *Hayes Paddock Former State Housing Precinct Hamilton East Heritage Assessment*, 2003.

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North Shore City Council, *Good Solutions Guide for Heritage Buildings*, 2003

Colin Buchanan and Partners Ltd and Mike Shanahan & Associates, *Cork Rural Design Guide: Building a New House in the Countryside*, published by Cork County Council 2003.

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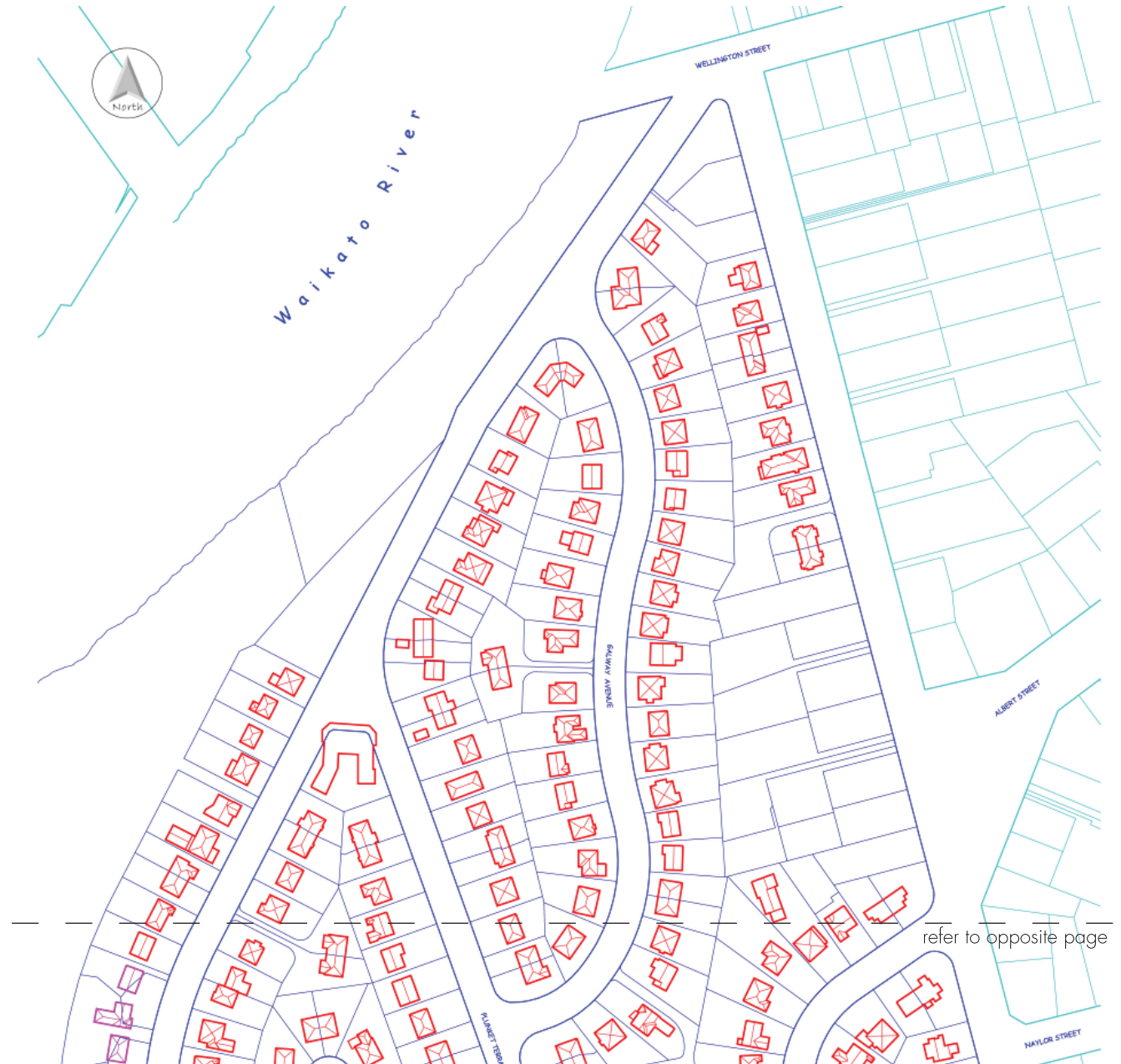
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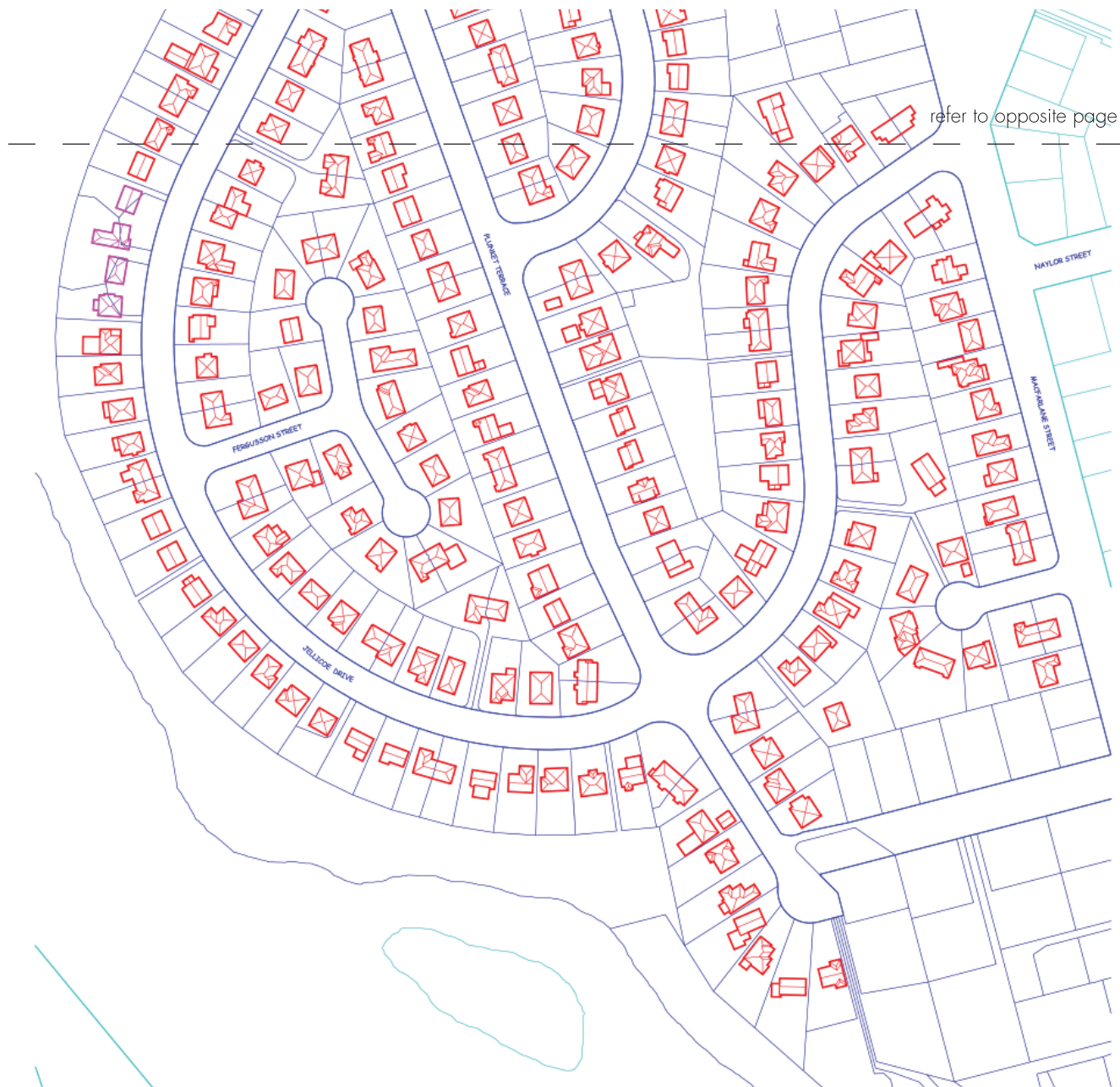
## Appendix 2.

### Hayes Paddock cadastral and rooft plan (not to scale).

This plan is provided to assist in identifying and understanding the relationship between the buildings in Hayes paddock.

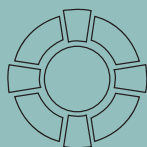
*NOTE: Some properties which have undergone alteration since this map was produced may not be accurately depicted.*





refer to opposite page





# GUIDE DESIGN PADDOCK HAYES

