

[REDACTED]

From: official information
Sent: Tuesday, 16 March 2021 11:11
To: [REDACTED]
Cc: official information
Subject: RESPONSE: LGOIMA 21074 - [REDACTED] - 68 Bartholomew Dr Development and Consents.
Attachments: Decision and approved scheme plan -11.2019.7031.002 - 68 Bartholomew Drive-Grifton Ltd.PDF; Decision and approved plans - 10.2020.10918.001 - 68 Bartholomew Drive - Grifton Ltd.PDF

Kia Ora,

I refer to your **information request below**, Hamilton City Council is able to provide the following response.

We have provided the most recent Land use and Subdivision resource consent decisions for the site. Our records show the Land Use resource consent is currently being implemented and as such, we have assumed this is the development you are referring to. Please let us know by return email if this is not the case.

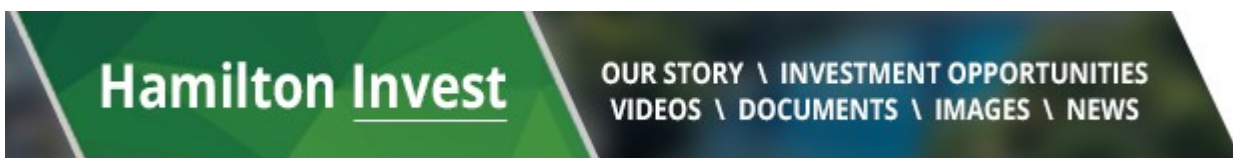
You have the right to seek an investigation and review by the Ombudsman of this decision. Information about how to make a complaint is available at www.ombudsman.parliament.nz or freephone 0800 802 602.

Kind Regards,

[REDACTED]
Official Information Team | Legal Services & Risk
Email: officialinformation@hcc.govt.nz



Hamilton City Council | Private Bag 3010 | Hamilton 3240 | www.hamilton.govt.nz
[Like us on Facebook](#) [Follow us on Twitter](#)



From: [REDACTED] >
Sent: Thursday, 4 March 2021 10:35 a.m.
To: official information <officialinformation@hcc.govt.nz>
Subject: 68 Bartholomew Drive, Hamilton

Warning! This message was sent from outside your organization and we are unable to verify the sender.

Good morning HCC.

I would like to know the purpose of the development, or resource consents, at 68 Bartholomew Drive, Hamilton. I live (4 Glenburn Place) not far from the development.

Thanks,

[REDACTED]

Senior Software Architect

[REDACTED]

[REDACTED]

PO Box 15049, Hamilton 3234

<https://arisesoftware.co.nz>

23 September 2020

Private Bag 3010
Hamilton 3240
New Zealand

TEL 07 838 6699
FAX 07 838 6599
EMAIL info@hcc.govt.nz
hamilton.govt.nz

Grifton Limited

C/- Rad Surveying Ltd
237 Dixon Rd
Hamilton 3206

Attn: Troy Radovancich
Your Ref: 19119

Decision on application for resource consent under the Resource Management Act 1991

Application number(s): 011.2019.7031.002
Applicant: Grifton Limited
Address: 68 Bartholomew Drive
Legal Description: Lot 1 DPS 77739
Proposed activity(s): S127 change of conditions

Dear Sir/Madam

I wish to advise you of Council's decision to **grant** your application for resource consent under the Resource Management Act 1991 (RMA). Please see below for the details of the decision and conditions of consent.

The following information provides you with some guidance on your rights and what to do next. It is recommended that you seek independent advice if you are in any doubt as to the processes to be followed.

Objections

If you disagree with any part of this decision or any conditions of this consent, you may lodge an objection in writing to Council within **15 working days** of the receipt of this letter. Your objection must be in accordance with section 357 of the RMA and must include the reasons for your objection.

Compliance with conditions

Your resource consent permits the land use to be established at the site long as the activity complies with the stated conditions on an ongoing basis. It is important that you fully understand and comply with all the conditions of your consent.

Please notify Council's monitoring team prior to the commencement of activities associated with this consent. The role of Council's monitoring team is to monitor compliance with the conditions of consent and may involve site visits.

Council's monitoring team can be contacted on planning.guidance@hcc.govt.nz. Please reference the consent number and address of the property when emailing or calling.

DECISION ON APPLICATION

That pursuant to the provisions of Sections 104, 104D and 127 of the Resource Management Act 1991 and the Hamilton City Operative District, Council grants resource consent to the application by Grifton Limited (being resource consent 11.2019.7031.002), to Change the Conditions of Resource Consent at 68 Bartholomew Drive, Hamilton being Lot 1 DPS 77739 subject to the following conditions of consent:

Compilation of conditions including those amended (amended conditions shown in bold font and underlined for additions and strikethrough for deletions)

~~Stage 1~~

General

1. *That the development be in general accordance with the plans and the information submitted with the application on 8 August 2019, except where superseded by updated information received on 18 September 2019, 30 October 2019, ~~and~~ 6 December 2019 **and additional information together with updated scheme plan received on 15 April 2020 and 17 August 2020.** (Approved ~~copies~~ **scheme plan** attached).*

Fees and Charges– Planning Guidance

2. Pursuant to section 36 Resource Management Act 1991, the following fee shall be paid:
 - a) Payment of an additional **Works and Services Fee** for auditing the conditions set out in this consent. The fee will be charged on a time-cost recovery basis in accordance with Hamilton City Council's Schedule of Fees and Charges, with adjustments coming into effect at the beginning of each financial year.
 - b) All GST requirements with regard to the transferring of assets to Council (e.g. reserves, roads, sewers) being complied with by the completion of the form titled 'GST Requirement/Asset Register and Tax Invoice'.

DUPLEX DWELLINGS – Planning Guidance

3. *That the construction of the framing system for the duplex units ~~on Lots 1, 2, 5 and 6~~ **as approved under land use consent 10.2020.10918.001 shall** be completed to the satisfaction of the Manager, Planning Guidance Unit, prior to the consent holder lodging application for survey plan certification under section 223 of the Resource Management Act 1991.*

AMALGAMATION - Planning Guidance

4. **That pursuant to section 220(1)(b)(iv) of the Resource Management Act 1991 that lot 12 hereon (legal access) be held as to 8 undivided one-eighth shares by the Owners of lots 1 - 8 hereon as tenants in common in the said shares and that Individual certificates of title be issued in accordance therewith. [See LINZ request 1677872].**

(a) That lot 12 hereon (access lot) to be held as to four undivided one-sixth shares by the owners of Lots 1, 2, 5 and 6 hereon and individual computer freehold registers be issued (LINZ reference number 1623450)

~~(b) That lot 12 hereon (access lot) be held as to two undivided one sixth shares by the owner of Lot 100 hereon (balance lot) and an individual computer freehold register be issued (LINZ reference number 1623450)~~

~~(c) That Lot 13 hereon (access lot) to be held as two undivided one quarter shares by the owners of Lots 5 and 6 hereon and individual computer freehold registers be issued (LINZ reference number 1623450)~~

~~(d) That Lot 13 hereon (access lot) to be held as to two undivided one quarter shares by the owners of Lot 100 hereon (balance lot) and individual computer registers be issued (LINZ reference number 1623450)~~

Consent Notice

5. (a) The stormwater management system (~~soakage~~detention to 80% of the pre-development rate) as outlined in the resource consent application shall be in place and fully operational upon the completion of the development to ensure that stormwater discharge off site is managed in accordance with the Regional Infrastructure Technical Specifications and at or below predevelopment rates. The installation, operation and maintenance of the stormwater management measure shall be the responsibility of the owners
- (b) That pursuant to section 221 of the Resource Management Act 1991, a consent notice shall be registered against the Record of Titles of **Lots 1 to 11** ~~Lots 1, 2, 5 and 6~~ advising that a private stormwater management system (~~soakage~~detention to 80% of the pre-development rate) is in place and replacement and on-going maintenance of the system shall be the responsibility of the owners.

EASEMENT – Engineering

6. An easement shall be created over any land upon which a secondary flow path is located. The flow paths shall provide for a storm having a 100-year ARI. The flow paths are to be clear of any probable building platform and shall accommodate the rainfall runoff in excess of the stormwater reticulation design capacity and shall be maintained on an ongoing basis.

EASEMENTS - Planning Guidance

7. That all easements be granted and reserved as shown on the survey plan.

Services

8. Where not already available, telecommunications reticulation (including ducting for computer media), underground electrical, and where applicable, gas services shall be provided to all lots. The Consent Holder shall obtain a works clearance from each network operator for electricity, telephone and, where applicable, gas services. Any cost and/or work associated with connecting to the network utility service shall be a matter that is to be negotiated and completed between the Consent Holder and the relevant service providers. The consent authority has no direct or indirect involvement in the assessment or approval of any of the works or costs associated with connecting to a network utility service, in particular, electricity, telecommunications reticulation and where applicable, gas. Connecting to the network shall occur prior to the issuance of certification under Section 224c of the RMA.

General Engineering

9. *The consent holder shall submit engineering plans detailing the proposed vehicle access, water and stormwater connections and system, and Stormwater secondary flow paths and ponding area to the Manager, Planning Guidance Unit for review by Development Unit prior to building consent application and construction works commencing onsite, this plan shall be amended by the Consent Holder as required until stamped 'Accepted' by the General manager, Development (or nominee).*
10. *All engineering works and designs shall be in accordance with the Regional Infrastructure Technical Specifications (available from the internet at www.hcc.govt.nz).*
11. *The consent holder shall retain the services of a suitably professional qualified person to oversee the construction of any infrastructure required for the development. This person shall be responsible for ensuring adherence to approved construction plans, quality systems, and project completion requirements. The name and contact details of this person shall be nominated on all engineering plans submitted to the Development Unit*
12. *Service connections shall be rationalised on site. Any private pipes and connections not required by the proposed development shall be appropriately disconnected to the satisfaction of the General Manager, Development. Removal of existing connections shall be done by Council at the consent holder's expense.*

Roading

13. *~~The~~ **All** proposed vehicle crossings ~~serving Lot 12~~ shall be constructed to the applicable standard in accordance with the Regional Infrastructure Technical Specifications, Drawing D3.3.5. The vehicle crossing shall be fully formed to the site boundary in the same material as the footpath.*
14. *~~The~~ **All** obsolete vehicle crossings shall be removed, and the kerb and channel, footpath and berm reconstructed as applicable to match the surroundings.*
15. *~~The~~ **All** proposed shared vehicle access ~~within Lots 12 and 13 (access lots),~~ parking and manoeuvring areas shall be formed, drained and sealed, and thereafter maintained, in a permanent dust-free all-weather surface suitable for the type and quantity of vehicles using the right of ways.*
16. *On completion of site works any roadside damage shall be repaired, and the kerb, berm and footpath reinstated to match the surroundings. The reinstatement work shall not be carried out until all service trenching in the footpath has been completed and shall include the reinstatement of all trenches.*
17. *The footpath and berm shall be kept clear during construction, or, if not practicable, may be temporarily closed along the site frontage. An application for Temporary Use of the Road Corridor can be obtained at no charge from City Transportation Unit.*
18. *All works within the road corridor shall be managed by a contractor operating under a current CAR (Corridor Access Request), made through the www.beforeudig.co.nz website) and appropriate traffic management.*

Three Waters

19. *Each lot shall be provided with a separate water supply, with no private water pipe passing between one lot and another, unless where easement is provided.*

20. Each lot shall be provided with a separate wastewater connection, with no private wastewater drains passing between one lot and another, unless where easement is provided.
21. A copy of the operation and maintenance procedures for onsite stormwater management measures shall be submitted at engineering design stage.

Stage 2

General

- ~~22. That the development be in general accordance with the plans and the information submitted with the application on 8 August 2019, except where superseded by updated information received on 18 September 2019, 30 October 2019 and 6 December 2019. (Approved copies attached).~~

Fees and Charges—Planning Guidance

- ~~23. Pursuant to section 36 Resource Management Act 1991, the following fee shall be paid:~~

- ~~a) Payment of an additional **Works and Services Fee** for auditing the conditions set out in this consent. The fee will be charged on a time-cost recovery basis in accordance with Hamilton City Council's Schedule of Fees and Charges, with adjustments coming into effect at the beginning of each financial year.~~
- ~~b) All GST requirements with regard to the transferring of assets to Council (e.g. reserves, roads, sewers) being complied with by the completion of the form titled 'GST Requirement/Asset Register and Tax Invoice'.~~

DUPLEX DWELLINGS—Planning Guidance

- ~~24. That the construction of the framing system for the duplex units on Lots 3, 4, 7 and 8 be completed to the satisfaction of the Manager, Planning Guidance Unit, prior to the consent holder lodging application for survey plan certification under section 223 of the Resource Management Act 1991.~~

AMALGAMATION—Planning Guidance

- ~~25. (a) That lot 12 hereon (access lot) to be held as to two undivided one-sixth shares by the owners of Lots 7 and 8 hereon and individual computer freehold registers be issued (LINZ reference number 1623450)~~
- ~~26. (b) That lot 13 hereon (access lot) be held as to two undivided one-quarter shares by the owners of Lots 7 and 8 hereon and individual computer freehold registers be issued (LINZ reference number 1623450)~~
- ~~27. (c) That Lot 14 hereon (access lot) to be held as two undivided one-fifth shares by the owners of Lots 3 and 4 hereon and individual computer freehold registers be issued (LINZ reference number 1623450)~~
- ~~28. (d) That Lot 14 hereon (access lot) to be held as to three undivided one-quarter shares by the owners of Lot 101 hereon (balance lot) and individual computer registers be issued (LINZ reference number 1623450)~~

Consent Notice

~~29. (a) The stormwater management system (detention to 80% of the pre-development rate) as outlined in the resource consent application shall be in place and fully operational upon the completion of the development to ensure that stormwater discharge off site is managed in accordance with the Regional Infrastructure Technical Specifications and at or below predevelopment rates. The installation, operation and maintenance of the stormwater management measure shall be the responsibility of the owners~~

~~(b) That pursuant to section 221 of the Resource Management Act 1991, a consent notice shall be registered against the Record of Titles of Lots 3, 4, 7 and 8 advising that a private stormwater management system (detention to 80% of the pre-development rate) is in place and replacement and on-going maintenance of the system shall be the responsibility of the owners.~~

EASEMENT—Engineering

~~30. An easement shall be created over any land upon which a secondary flow path is located. The flow paths shall provide for a storm having a 100-year ARI. The flow paths are to be clear of any probable building platform and shall accommodate the rainfall runoff in excess of the stormwater reticulation design capacity and shall be maintained on an ongoing basis.~~

EASEMENTS—Planning Guidance

~~31. That all easements be granted and reserved as shown on the survey plan.~~

Services

~~32. Where not already available, telecommunications reticulation (including ducting for computer media), underground electrical, and where applicable, gas services shall be provided to all lots. The Consent Holder shall obtain a works clearance from each network operator for electricity, telephone and, where applicable, gas services. Any cost and/or work associated with connecting to the network utility service shall be a matter that is to be negotiated and completed between the Consent Holder and the relevant service providers. The consent authority has no direct or indirect involvement in the assessment or approval of any of the works or costs associated with connecting to a network utility service, in particular, electricity, telecommunications reticulation and where applicable, gas. Connecting to the network shall occur prior to the issuance of certification under Section 224c of the RMA.~~

General Engineering

~~33. The consent holder shall submit engineering plans detailing the proposed vehicle access, water and stormwater connections and system, and Stormwater secondary flow paths and ponding area to the Manager, Planning Guidance Unit for review by Development Unit prior to building consent application and construction works commencing onsite, this plan shall be amended by the Consent Holder as required until stamped 'Accepted' by the General manager, Development (or nominee).~~

~~34. All engineering works and designs shall be in accordance with the Regional Infrastructure Technical Specifications (available from the internet at www.hcc.govt.nz).~~

~~35. The consent holder shall retain the services of a suitably professional qualified person to oversee the construction of any infrastructure required for the development. This person shall be responsible for ensuring adherence to approved construction plans, quality systems, and project completion requirements. The name and contact details of this person shall be nominated on all engineering plans submitted to the Development Unit~~

~~36. Service connections shall be rationalised on site. Any private pipes and connections not required by the proposed development shall be appropriately disconnected to the satisfaction of the General Manager, Development. Removal of existing connections shall be done by Council at the consent holder's expense.~~

Roading

~~37. The proposed vehicle crossing to Lot 14 shall be constructed to the applicable standard in accordance with the Regional Infrastructure Technical Specifications, Drawing D3.3.5. The vehicle crossing shall be fully formed to the site boundary in the same material as the footpath.~~

~~38. The obsolete vehicle crossings shall be removed, and the kerb and channel, footpath and berm reconstructed as applicable to match the surroundings.~~

~~39. The proposed shared access within Lot 14 (access lot), parking and manoeuvring area shall be formed, drained and sealed, and thereafter maintained, in a permanent dust-free all-weather surface suitable for the type and quantity of vehicles using the right of way.~~

~~40. On completion of site works any roadside damage shall be repaired, and the kerb, berm and footpath reinstated to match the surroundings. The reinstatement work shall not be carried out until all service trenching in the footpath has been completed and shall include the reinstatement of all trenches.~~

~~41. The footpath and berm shall be kept clear during construction, or, if not practicable, may be temporarily closed along the site frontage. An application for Temporary Use of the Road Corridor can be obtained at no charge from City Transportation Unit.~~

~~42. All works within the road corridor shall be managed by a contractor operating under a current CAR (Corridor Access Request), made through the www.beforeudig.co.nz website) and appropriate traffic management.~~

Three Waters

~~43. Each lot shall be provided with a separate water supply, with no private water pipe passing between one lot and another, unless where easement is provided.~~

~~44. Each lot shall be provided with a separate wastewater connection, with no private wastewater drains passing between one lot and another, unless where easement is provided.~~

~~45. A copy of the operation and maintenance procedures for onsite stormwater management measures shall be submitted at engineering design stage.~~

Stage 3

General

~~46. That the development be in general accordance with the plans and the information submitted with the application on 8 August 2019, except where superseded by updated information received on 18 September 2019, 30 October 2019 and 6 December 2019. (Approved copies attached).~~

~~Fees and Charges—Planning Guidance~~

~~47. Pursuant to section 36 Resource Management Act 1991, the following fee shall be paid:~~

- ~~a) Payment of an additional **Works and Services Fee** for auditing the conditions set out in this consent. The fee will be charged on a time-cost recovery basis in accordance with Hamilton City Council's Schedule of Fees and Charges, with adjustments coming into effect at the beginning of each financial year.~~
- ~~b) All GST requirements with regard to the transferring of assets to Council (e.g. reserves, roads, sewers) being complied with by the completion of the form titled 'GST Requirement/Asset Register and Tax Invoice'.~~

~~DUPLEX DWELLINGS—Planning Guidance~~

~~48. That the construction of the framing system for the duplex units on Lots 9 and 10 be completed to the satisfaction of the Manager, Planning Guidance Unit, prior to the consent holder lodging application for survey plan certification under section 223 of the Resource Management Act 1991.~~

~~AMALGAMATION—Planning Guidance~~

~~49. That lot 14 hereon (access lot) to be held as to three undivided one fifth shares by the owners of Lots 9, 10 and 11 hereon and individual computer freehold registers be issued. (LINZ reference number 1623450)~~

~~Consent Notice~~

~~50. (a) The stormwater management system (detention to 80% of the pre-development rate) as outlined in the resource consent application shall be in place and fully operational upon the completion of the development to ensure that stormwater discharge off site is managed in accordance with the Regional Infrastructure Technical Specifications and at or below predevelopment rates. The installation, operation and maintenance of the stormwater management measure shall be the responsibility of the owners~~

~~(b) That pursuant to section 221 of the Resource Management Act 1991, a consent notice shall be registered against the Certificate of Titles of Lots 9, 10 and 11 advising that a private stormwater management system (detention to 80% of the pre-development rate) is in place and replacement and on-going maintenance of the system shall be the responsibility of the owners.~~

~~EASEMENT—Engineering~~

~~51. An easement shall be created over any land upon which a secondary flow path is located. The flow paths shall provide for a storm having a 100-year ARI. The flow paths are to be clear of any probable building platform and shall accommodate the rainfall runoff in excess of the stormwater reticulation design capacity and shall be maintained on an ongoing basis.~~

~~EASEMENTS—Planning Guidance~~

~~52. That all easements be granted and reserved as shown on the survey plan.~~

Services

~~53. Where not already available, telecommunications reticulation (including ducting for computer media), underground electrical, and where applicable, gas services shall be provided to all lots. The Consent Holder shall obtain a works clearance from each network operator for electricity, telephone and, where applicable, gas services. Any cost and/or work associated with connecting to the network utility service shall be a matter that is to be negotiated and completed between the Consent Holder and the relevant service providers. The consent authority has no direct or indirect involvement in the assessment or approval of any of the works or costs associated with connecting to a network utility service, in particular, electricity, telecommunications reticulation and where applicable, gas. Connecting to the network shall occur prior to the issuance of certification under Section 224c of the RMA.~~

General Engineering

~~54. The consent holder shall submit engineering plans detailing the proposed vehicle access, water and stormwater connections and system, and Stormwater secondary flow paths and ponding area to the Manager, Planning Guidance Unit for review by Development Unit prior to building consent application and construction works commencing onsite, this plan shall be amended by the Consent Holder as required until stamped 'Accepted' by the General manager, Development (or nominee).~~

~~55. All engineering works and designs shall be in accordance with the Regional Infrastructure Technical Specifications (available from the internet at www.hcc.govt.nz).~~

~~56. The consent holder shall retain the services of a suitably professional qualified person to oversee the construction of any infrastructure required for the development. This person shall be responsible for ensuring adherence to approved construction plans, quality systems, and project completion requirements. The name and contact details of this person shall be nominated on all engineering plans submitted to the Development Unit~~

~~57. Service connections shall be rationalised on site. Any private pipes and connections not required by the proposed development shall be appropriately disconnected to the satisfaction of the General Manager, Development. Removal of existing connections shall be done by Council at the consent holder's expense.~~

Roading

~~58. The proposed vehicle crossing to the south shall be constructed to the applicable standard in accordance with the Regional Infrastructure Technical Specifications, Drawing D3.3.5. The vehicle crossing shall be fully formed to the site boundary in the same material as the footpath.~~

~~59. The obsolete vehicle crossings shall be removed, and the kerb and channel, footpath and berm reconstructed as applicable to match the surroundings.~~

~~60. The proposed shared access within Lot 14 (access lot), parking and manoeuvring area shall be formed, drained and sealed, and thereafter maintained, in a permanent dust free all weather surface suitable for the type and quantity of vehicles using the right of way.~~

~~61. On completion of site works any roadside damage shall be repaired, and the kerb, berm and footpath reinstated to match the surroundings. The reinstatement work shall not be carried out until all service trenching in the footpath has been completed and shall include the reinstatement of all trenches.~~

~~62. The footpath and berm shall be kept clear during construction, or, if not practicable, may be temporarily closed along the site frontage. An application for Temporary Use of the Road Corridor can be obtained at no charge from City Transportation Unit.~~

~~63. All works within the road corridor shall be managed by a contractor operating under a current CAR (Corridor Access Request), made through the www.beforeudig.co.nz website) and appropriate traffic management.~~

Three Waters

~~64. Each lot shall be provided with a separate water supply, with no private water pipe passing between one lot and another, unless where easement is provided.~~

~~65. Each lot shall be provided with a separate wastewater connection, with no private wastewater drains passing between one lot and another, unless where easement is provided.~~

~~66. A copy of the operation and maintenance procedures for onsite stormwater management measures shall be submitted at engineering design stage.~~

Reasons for the Decision

- a. Subject to the above conditions, the proposal is not contrary to the relevant objectives and policies of the Operative District Plan.
- b. Having regard to section 104(1)(a) of the Act, the actual and potential adverse effects on the environment of granting consent are acceptable as the proposal is consistent with the relevant assessment criteria and promotes the sustainable management of natural and physical resources.

Advisory Notes

- Subdivision Consent 11.2019.7031.001 shall be read in conjunction with this consent.
- That compliance in all other respects with Council Bylaws, all relevant Acts, Regulations, and rules of law be met.
- If this property is on-sold to a new owner(s) please ensure that a copy of this resource consent is forwarded to the new owner(s).
- This Resource Consent is not a Building consent. A Building Consent may also required. Please contact Council's Building Unit on 838 6677 for information on Building Consent matters.

Yours sincerely,



SAM LE HERON

CONSENTS AND CERTIFICATES LEAD

For more information please contact:

Josef Holland

Council Building

Garden Place, Hamilton

Phone: 07 838 6699

Email: josef.holland@hcc.govt.nz

AMALGAMATION CONDITIONS

THAT LOT 12 HEREON (LEGAL ACCESS) BE HELD AS TO 8 UNDIVIDED ONE-EIGHTH SHARES BY THE OWNERS OF LOTS 1 - 8 HEREON AS TENANTS IN COMMON IN THE SAID SHARES AND THAT INDIVIDUAL CERTIFICATES OF TITLE BE ISSUED IN ACCORDANCE THEREWITH

SEE LINZ REF:..... SECTION 220(1)(b)(iv)

**Received
PLANNING GUIDANCE
17.8.20**

FINAL APPROVED
RESOURCE CONSENT PLANS
File # : 11.2019.7031.002
Date of Consent: 23.9.20



DENOTES GARDEN SHED

SITE COVERAGE			
LOT	AREA	BLG	%
1	219	79.8	36.4%
2	203	79.8	39.3%
3	232	81.3	35.0%
4	210	79.8	38.0%
5	203	79.8	39.3%
6	216	79.8	36.9%
7	200	79.4	39.7%
8	202	78.3	38.8%
9	212	80.5	38.0%
10	202	79.8	39.5%
11	402	155.6	38.7%
IMPERMEABLE			
LOT	AREA	IMP.	%
1	219	133.3	60.9%
2	203	135.2	66.6%
3	232	129.5	55.8%
4	210	130.1	62.0%
5	203	135.2	66.6%
6	216	125.6	58.1%
7	200	130.6	65.3%
8	202	128.1	63.4%
9	212	121.4	57.3%
10	202	118.7	58.8%
11	472	331.2	70.2%
ALL	2795	1830.9	65.5%

NOTE:

- 1) FINAL DIMENSIONS AND LAYOUT SUBJECT TO SURVEY AND APPROVAL FROM HAMILTON CITY COUNCIL
- 2) LEGAL DESCRIPTION: - LOT 1 DPS 77739
- 3) RT: SA61D/270
- 4) TOTAL AREA: - 2795m²
- 5) ZONE: - GENERAL RESIDENTIAL
- 6) ALL LEVELS ARE IN TERMS OF MOTURIKI DATUM

MEMORANDUM OF EASEMENTS

PURPOSE	SERV. TENE. (BURDENED LAND)	SHOWN	DOM. TENE (BENEFITED LAND)
RIGHT OF WAY RIGHT TO CONVEY WATER, ELECTRICITY, TELECOMMUNICATIONS RIGHT TO DRAIN SEWAGE AND WATER	LOT 12	A	LOTS 1 - 8
PARTY WALL EASEMENT	LOT 1	C	LOT 2
	LOT 2	D	LOT 1
	LOT 3	E	LOT 4
	LOT 4	F	LOT 3
	LOT 5	G	LOT 6
	LOT 6	H	LOT 5
	LOT 7	I	LOT 8
	LOT 7	J	LOT 7
	LOT 9	K	LOT 10
	LOT 10	L	LOT 9

Client Reference:

19119

Sheet:

Version:

1

1

DATE: August 20

PROPOSED SCHEME PLAN
LOTS 1 - 12 BEING A SUBDIVISION OF LOT 1 DPS 77739
68 BARTHOLOMEW DRIVE HAMILTON

PREPARED FOR: GRIFTON LTD

SCALE: 1:300@ A3

File: 2020-8-6 - 68 BARTHOLOMEW SCHEME PLAN RFI PLAN.DWG

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RAD SURVEYING
LIMITED

07 843 1587 027 411 8496
237 DIXON ROAD, HAMILTON
troy@radsurveying.co.nz

Designed.	Reviewed.
-----------	-----------

Reviewed.

8 September 2020

Private Bag 3010
Hamilton 3240
New Zealand

TEL 07 838 6699
FAX 07 838 6599
EMAIL info@hcc.govt.nz
hamilton.govt.nz

Grifton Limited

C/- Rad Surveying Ltd
237 Dixon Rd
Hamilton 3206

Attn: Troy Radovancich
Your Ref: 19119

Decision on application for resource consent under the Resource Management Act 1991

Application number(s): 010.2020.10918.001
Applicant: Grifton Limited
Address: 68 Bartholomew Drive
Legal Description: Lot 1 DPS 77739
Proposed activity(s): Duplex development and a single dwelling

Dear Sir/Madam

I wish to advise you of Council's decision to **grant** your application for resource consent under the Resource Management Act 1991 (RMA). Please see below for the details of the decision and conditions of consent.

The following information provides you with some guidance on your rights and what to do next. It is recommended that you seek independent advice if you are in any doubt as to the processes to be followed.

Objections

If you disagree with any part of this decision or any conditions of this consent, you may lodge an objection in writing to Council within **15 working days** of the receipt of this letter. Your objection must be in accordance with section 357 of the RMA and must include the reasons for your objection.

Compliance with conditions

Your resource consent permits the land use to be established at the site long as the activity complies with the stated conditions on an ongoing basis. It is important that you fully understand and comply with all the conditions of your consent.

Please notify Council's monitoring team prior to the commencement of activities associated with this consent. The role of Council's monitoring team is to monitor compliance with the conditions of consent and may involve site visits.

Council's monitoring team can be contacted on planning.guidance@hcc.govt.nz. Please reference the consent number and address of the property when emailing or calling.

Lapsing of Consent/s

This resource consent lapses 5 years after the commencement of the consent, unless the consent is given effect to by the end of that period.

The commencement date of a resource consent is determined by section 116 of the Resource Management Act 1991.

DECISION ON APPLICATION

That pursuant to the provisions of Sections 104 and 104C of the Resource Management Act 1991 and the Hamilton City Operative District Plan and Plan Change 6, Council grants resource consent to the application by Grifton Limited (being resource consent 10.2020.10918.001), to establish a duplex development and a single dwelling at 68 Bartholomew Drive, Hamilton being Lot 1 DPS 77739 subject to the following conditions:

Conditions

Under section 108 of the RMA this consent is subject to the following conditions:

General

1. *That the development be in general accordance with the plans and the information submitted with the application on 15 April 2020, except where superseded by updated information received 11 June 2020, 17 and 27 August 2020 (approved plans attached).*
2. *The external building construction materials (including façade materials and colours) for the residential units fronting the transport corridor shall be in accordance with the detail provided in the 3D Street View, prepared by Native Bird Drafting Limited, received 17 August 2020. A copy of the approved plan is attached.*

Landscaping

3. *That the landscaping of the site shall be implemented during the first planting season following completion of construction onsite. It shall thereafter be maintained in general accordance with the information detailed on the approved landscaping plan prepared by Rad Surveying Limited received 27 August 2020. This shall ensure that;*
 - a. *Any front boundary fencing shall be minimum 50% visually permeable for any sections of fence above 1.2m.*

Geotechnical

4. *Building foundations and/or ground improvement shall be specific engineer designed in general accordance with the recommendations of the Probase Engineering site investigation report dated 10/05/2020 (rev A), which has identified hazards from unsuitable soils and expansive soils at the site. Foundations shall be designed in general accordance with the recommendations of the geotechnical report. The appropriate foundation design shall be determined at the Building Consent stage.*

Street trees

5. *Within 1 month of the granting of this consent, and prior to any removal of street trees, the consent holder and/or representative shall hold a meeting onsite with Hamilton City Council's Manager – Open Space and Facilities, or nominee. The purpose of the meeting is to identify any street trees to be removed in order to accommodate the proposed southern vehicle crossing and to identify any existing trees that require protective fencing.*
6. *That the existing street trees to be removed to accommodate the proposed vehicle crossings located on Bartholomew Drive shall be replaced at the cost of the consent holder, if required. The replacement species and the replacement size shall be confirmed by the Manager, Open Spaces and Facilities, or nominee. The replacement tree(s) shall be planted within the next planting season (May to September) after the completion of the vehicle crossing to the satisfaction of the Manager, Open Spaces and Facilities, or nominee.*
7. *The planting and ongoing maintenance of the replacement tree(s) detailed in condition 5 shall be in accordance with Section 7 of the Hamilton City Council Infrastructure Technical Specifications.*

Engineering

8. *The consent holder shall submit engineering plans detailing the existing and any proposed water, wastewater and stormwater connections and system, and water efficiency measure to the Manager, Planning Guidance Unit for review by Strategic Development Unit prior to building consent application and construction work commencing onsite, this plan shall be amended by the Consent Holder as required until stamped 'Accepted' by Strategic Development Unit.*
9. *Stormwater secondary flow paths and ponding area shall be shown on the engineering plans. The flow paths shall provide for a storm having a 100-year ARI. The flow paths are to be clear of any probable building platform and shall accommodate the rainfall runoff in excess of the stormwater reticulation design capacity and shall be maintained on an ongoing basis.*
10. *All engineering works and designs shall be in accordance with the Regional Infrastructure Technical Specifications (available from the internet at www.hcc.govt.nz).*
11. *The consent holder shall retain the services of a suitably professional qualified person to oversee the construction of any infrastructure required for the development. This person shall be responsible for ensuring adherence to approved construction plans, quality systems, and project completion requirements. The name and contact details of this person shall be nominated on all engineering plans submitted to the Strategic Development Unit.*
12. *A register of all assets to be vested in Council (e.g. reserves, roads, water, wastewater and stormwater infrastructure) and associated GST requirements shall be submitted to Strategic Development Unit at the completion of works (ref Hamilton City Council form GST Requirement/Asset Register and Tax Invoice).*

Construction Management Plan

13. *Within 2 weeks of the granting of this consent, the Consent Holder shall provide a Construction Management Plan (CMP) for certification by the Strategic Development Unit Manager (or nominee). The objective of the CMP is to outline the approach to be taken for the managing construction works to ensure that impacts that may arise from the works have been appropriately identified, managed and minimised.*

14. *The consent holder shall carry out operations in general accordance with the provisions of the approved Construction Management Plan, and any subsequent changes. The Construction Management Plan (CMP) shall include but not limited to:*

- *Details of the works, intended construction timetable (including staging) and hours of operation*
- *Methods to control dust, debris on roads and silt laden runoff during construction*
- *Existing network utilities*
- *Anticipated truck movements and routes to and from the site during construction*
- *Site access and management*
- *Traffic Management Plan*
- *Contact details for the contractor, including a process for complaints and remedying concerns*
- *Adjacent land owner liaison during the construction stage*
- *Quality assurance/quality control*
- *General methods to mitigate and manage construction noise and vibration in order to comply with the applicable noise limits*
- *Identification of any special construction activities (including any pile driving and concrete pours) that may require specific mitigation measures in order to comply with the applicable noise limits*

15. *Any changes to the Construction Management Plan shall be made in accordance with the methodology and approved procedures in that plan shall be confirmed in writing by the Consent Holder following consultation with the Strategic Development Unit Manager (or nominee) before implementation.*

Earthworks

16. *Earthworks activity shall be restricted to the hours of 7:30am to 6:00pm Monday to Saturday.*

17. *The Consent holder shall ensure that all appropriate sediment and erosion control measures are adopted to minimise any sediment leaving the site and entering any waterway. The measures shall include: the establishment of silt fence, stabilised entranceways, cut off drains and the connection of downpipes to the stormwater system as necessary. These sediment control measures should be established and maintained on site for the duration of the works. Note: refer to Waikato Regional Council's "Erosion & Sediment Control, Guidelines for Soil Disturbing Activities" which can be found at <http://www.waikatoregion.govt.nz>.*

18. *Earthworks shall not obstruct or divert any stormwater overland flow path or result in changed stormwater drainage patterns on adjacent land in different ownership.*

19. *All earthworks activities on site shall be managed to avoid material deposits on public roads.*

20. *The activity shall be conducted in such a manner so as to not create a dust nuisance. A dust nuisance will occur if:*

- *There is visible evidence of suspended solids in the air beyond the site boundary; and/or*
- *There is visible evidence of suspended solids traceable from a dust source settling on the ground, building or structure of a neighbouring site or water.*

21. *All areas of bare earth shall be re-vegetated or re-grassed as soon as practicably possible and within three calendar months following the completion of earthworks. If this cannot be achieved the area shall be temporarily covered by a surface suitable to protect against soil erosion until such time as re-vegetation or re-grassing can occur.*

Roading

22. *All proposed vehicle crossings shall be constructed to the applicable standard in accordance with the Regional Infrastructure Technical Specifications, Drawing D3.3.5. The vehicle crossing shall be fully formed to the site boundary in the same material as the footpath.*
23. *All obsolete vehicle crossings shall be removed, and the kerb and channel, footpath and berm reconstructed as applicable to match the surroundings.*
24. *The internal accessways, parking and manoeuvring areas shall be formed, drained and sealed, and thereafter maintained, in a permanent dust-free all-weather surface suitable for the type and quantity of vehicles using the right of way.*
25. *On completion of site works any roadside damage shall be repaired, and the kerb, berm and footpath reinstated to match the surroundings. The reinstatement work shall not be carried out until all service trenching in the footpath has been completed and shall include the reinstatement of all trenches.*
26. *The footpath and berm shall be kept clear during construction, or, if not practicable, may be temporarily closed along the site frontage. An application for Temporary Use of the Road Corridor can be obtained at no charge from City Transportation Unit.*
27. *All works within the road corridor shall be managed by a contractor operating under a current CAR (Corridor Access Request), made through the www.beforeudig.co.nz website) and appropriate traffic management.*
28. *The footing and walls of the proposed retaining walls supporting residential property, adjoining road corridor, shall be within the site boundary.*

Three waters

29. *Service connections shall be rationalised on site. Any private pipes and connections not required by the proposed development shall be appropriately disconnected to the satisfaction of the General Manager, Development. Removal of existing connections shall be done by Council at the consent holder's expense.*

Water

30. *Each unit shall be provided with a water supply, for potable purposes.*
31. *Units 1 to 8 shall be provided with a new 63mm OD MDPE ridermain with flushing point at the end, installed by Council to the site boundary at the cost of the Consent Holder and extended internally by a private contractor to provide a separate supply to each dwelling with tobies outside the respective building.*

Wastewater

32. *Each unit shall be provided with a wastewater connection.*

Stormwater

33. *The stormwater management system outlined in the application (soakage) shall be implemented onsite to ensure stormwater discharge offsite is at or below pre-development rates. The stormwater management system shall be in place and fully operational upon the completion of the development. The ongoing maintenance of the system shall be the responsibility of the owners.*
34. *In addition to Low Flow Fixtures, at least one water sensitive technique for stormwater shall be incorporated, connected to, achieved or maintained as part of any new development as identified below:*
 - *Installation of soakage for the onsite management of stormwater to 80% of predevelopment runoff.*
35. *A copy of the operation and maintenance procedures for onsite stormwater management measures shall be submitted at engineering design stage.*

Reasons

Under Section 113 of the RMA the reasons for this decision are:

- a. Subject to the above conditions, the proposal is not contrary to the relevant objectives and policies of the Operative District Plan.
- b. Having regard to section 104(1)(a) of the Act, the actual and potential adverse effects on the environment of granting consent are acceptable as the proposal is consistent with the relevant assessment criteria and promotes the sustainable management of natural and physical resources.
- c. The development has been designed and laid out to integrate with the existing residential development in the area, and therefore, will maintain the amenity and character of the surrounding environment.
- d. The site contains sufficient onsite amenities including permeable surfaces, outdoor living areas, service areas and parking areas. These areas break up the built form on the site and the permeable areas provide opportunity for landscaping to further enhance onsite amenity.
- e. The geotechnical condition will assist in appropriately managing any identified natural hazard risk identified in the supplied engineering report.
- f. Adherence to the design guidelines of the Regional Technical Infrastructure Specifications and current best practice will provide a means for achieving good engineering solutions for the whole of the development.
- g. Reinstatement of roadside features at the conclusion of site works will preserve the life of public assets.
- h. Formation of the parking areas allows for all-weather use and helps to protect the amenity values of neighbouring properties.

- i. Examination of the engineering plans and auditing of the works will allow Council to confirm that the engineering aspects of the work have been satisfactorily completed.
- j. Designing and implementing a system for the treatment and management of stormwater runoff will ensure that people and properties are protected and ecological values preserved.
- k. The proposed development is sustainable and any adverse effects created from the application are acceptable. Overall the proposal is consistent with the purpose and principles of the Resource Management Act.

Advisory Notes

- The following street addresses shall apply:
 - Unit 1 shall be known as 11/68 Bartholomew Drive
 - Unit 2 shall be known as 10/68 Bartholomew Drive
 - Unit 3 shall be known as 4/68 Bartholomew Drive
 - Unit 4 shall be known as 5/68 Bartholomew Drive
 - Unit 5 shall be known as 9/68 Bartholomew Drive
 - Unit 6 shall be known as 8/68 Bartholomew Drive
 - Unit 7 shall be known as 6/68 Bartholomew Drive
 - Unit 8 shall be known as 7/68 Bartholomew Drive
 - Unit 9 shall be known as 2/68 Bartholomew Drive
 - Unit 10 shall be known as 3/68 Bartholomew Drive
 - Unit 11 shall be known as 1/68 Bartholomew Drive

The above street numbering has been determined in accordance with the Australian/New Zealand Standard AS/NZS 4819:2011 Rural and urban addressing and must be adhered to.
- All required vehicle crossing inspections shall be completed to the satisfaction of HCC Infrastructure Coordinator. Application should be submitted for acceptance by HCC Infrastructure Coordinator. Note: For the application form and more details please follow <https://www.hamilton.govt.nz/our-services/transport/maintainingimproving/Pages/Vehicle-Entrance-Maintenance.aspx>
- The onus rests with the consent holder to demonstrate that completed works meet Council requirements and accepted engineering standards. Therefore, developers should employ suitably qualified and experienced contractors and maintain records of the quality control process.
- All operations affecting in-service Hamilton City Council water, wastewater or stormwater pipelines are to be carried out by Hamilton City Council staff (City Delivery Unit) unless specific approval is given.
- The Consent Holder is advised that the roading, water and drainage infrastructure servicing the site is privately-owned, and that its maintenance and replacement is the joint responsibility of the owner.
- Retaining walls greater than 1.5 metres above the natural ground or any retaining wall that are subject to surcharge will require a building consent.
- Retaining walls shall be designed and constructed by a suitably qualified professional taking into account any future loading which includes any structural load. Retaining walls shall be provided with adequate drainage to avoid seepage through wall and to adjoining properties.
- The construction of vehicle crossing should not change the berm levels. Vehicle crossings must not encroach onto the berm and footpath.

- The consent authority has no direct or indirect involvement in the assessment or approval of any of the works or costs associated with connecting to a network utility service, in particular, electricity, telecommunications reticulation and where applicable, gas.
- That compliance in all other respects with Council Bylaws, all relevant Acts, Regulations, and rules of law be met.
- If this property is on-sold to a new owner(s) please ensure that a copy of this resource consent is forwarded to the new owner(s).
- This Resource Consent is not a Building consent. A Building Consent may also be required. Please contact Council's Building Unit on 838 6677 for information on Building Consent matters.
- All operations affecting in-service Hamilton City Council water, wastewater or stormwater pipelines are to be carried out by Hamilton City Council staff (City Delivery Unit) unless specific approval is given.
- The onus rests with the consent holder to demonstrate that completed works meet Council requirements and accepted engineering standards. Therefore, developers should employ suitably qualified and experienced contractors and maintain records of the quality control process.

Development Contributions:

Based on the details of this consent development contributions may be required to be paid in respect of the development pursuant to the Local Government Act (2002) and Council's Development Contributions Policy. A 'Notice of requirement of development contributions' will be issued separately. Development contributions are not a condition of resource consent and are not subject to any right of appeal within the RMA 1991.

Yours sincerely,



LAURA THOMSON

CONSENTS AND MONITORING LEAD

For more information please contact:

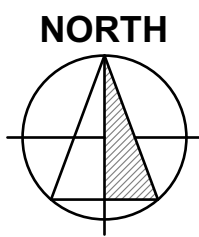
Josef Holland

Council Building

Garden Place, Hamilton

Phone: 07 838 6699

Email: josef.holland@hcc.govt.nz



**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 10.2020.10918.001
Date of Consent: 8.9.20

Received
PLANNING GUIDANCE
17.08.20

Lot 67 DPS 70338 [4455808]
640m²

LEGAL:
Proposed New Development for:
GRIFTON LIMITED
68 BARTHOLOMEW DRIVE, HAMILTON

Lot: 1
DP: S77739
Territorial Authority: HCC
Wind Zone: Medium
Earthquake Zone: Zone 1

NOTE:
Read Site Location Plan in conjunction with
RAD Surveying Limited Site plan / information.
Survey Plan / information takes preference over
Architectural Drawings.

SITE COVERAGE			
LOT	AREA	BLG	%
1	219	79.8	36.4%
2	203	79.8	39.3%
3	232	81.3	35.0%
4	210	79.8	38.0%
5	203	79.8	39.3%
6	216	79.8	36.9%
7	200	79.4	39.7%
8	202	78.3	38.8%
9	212	80.5	38.0%
10	202	79.8	39.5%
11	402	155.6	38.7%
IMPERMEABLE			
LOT	AREA	IMP.	%
1	219	133.3	60.9%
2	203	135.2	66.6%
3	232	129.5	55.8%
4	210	130.1	62.0%
5	203	135.2	66.6%
6	216	125.6	58.1%
7	200	130.6	65.3%
8	202	128.1	63.4%
9	212	121.4	57.3%
10	202	118.7	58.8%
11	472	331.2	70.2%
ALL	2795	1830.9	65.5%

OUT DOOR LIVING & SERVICE COURTS:			
OLA 1:	42m ²	SC 1:	15m ²
OLA 2:	36m ²	SC 2:	15m ²
OLA 3:	45m ²	SC 3:	16m ²
OLA 4:	56m ²	SC 4:	16m ²
OLA 5:	37m ²	SC 5:	15m ²
OLA 6:	37m ²	SC 6:	15m ²
OLA 7:	37m ²	SC 7:	15m ²
OLA 8:	41m ²	SC 8:	15m ²
OLA 9:	37m ²	SC 9:	15m ²
OLA 10:	39m ²	SC 10:	15m ²
OLA 11:	82m ²	SC 11:	15m ²



**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 10.2020.10918.001
Date of Consent: 8.9.20

Received
PLANNING GUIDANCE
27.8.20



LEGEND	
	PROPOSED RETAINING WALL
(+)	HIGH SIDE OF WALL
(-)	LOW SIDE OF WALL
	PROPOSED HEIGHT OF WALL
	1.8m TIMBER FENCE
	1.2m POOL FENCE
	GRISELIENIA HEDGE - MIN PB5 PLANTED @ 0.60m SPACING
	SLATTED PRIVACY SCREEN
	PRUNUS SHIMIDSU SAKURA SHRUB



- NOTE:**
- 1) FINAL DIMENSIONS AND LAYOUT SUBJECT TO SURVEY AND APPROVAL FROM HAMILTON CITY COUNCIL
 - 2) LEGAL DESCRIPTION: - LOT 1 DPS 77739
 - 3) RT: SA61D/270
 - 4) TOTAL AREA: - 2795m²
 - 5) ZONE: - GENERAL RESIDENTIAL
 - 6) ALL LEVELS ARE IN TERMS OF MOTURIKI DATUM

07 843 1587 027 411 8496
237 DIXON ROAD, HAMILTON
troy@radsurveying.co.nz

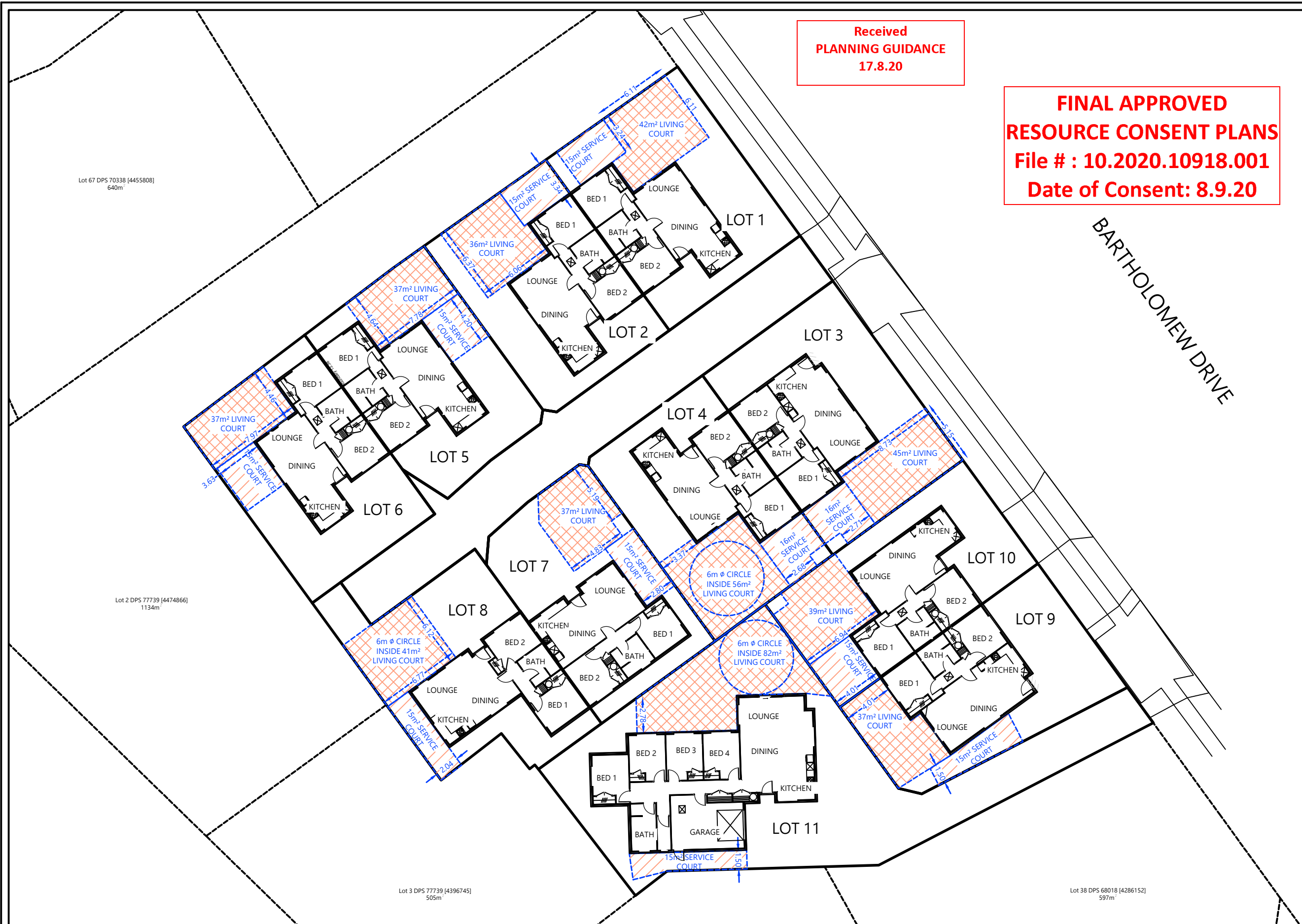
PROPOSED LANDSCAPING PLAN
LOTS 1 - 12 BEING A SUBDIVISION OF LOT 1 DPS 77739
68 BARTHOLOMEW DRIVE HAMILTON

Client Reference:	
19119	
Sheet:	Version:
3	1



Received
PLANNING GUIDANCE
17.8.20

**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 10.2020.10918.001
Date of Consent: 8.9.20



NOTE:
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6) ALL LEVELS ARE IN TERMS OF MOTURIKI DATUM



07 843 1587 027 411 8496
237 DIXON ROAD, HAMILTON
troy@radsurveying.co.nz

PROPOSED SCHEME PLAN
FLOOR PLANS WITH LIVING COURT & SERVICE COURTS SHOWN WITH DIMENSIONS
68 BARTHOLOMEW DRIVE HAMILTON

Client Reference:	
19119	
Sheet:	Version:
2	1

PREPARED FOR: GRIFTON LTD

SCALE: 1:300@ A3

DATE: August 20

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File: 2020-8-6 - 68 BARTHOLOMEW SCHEME PLAN RFI PLAN.DWG



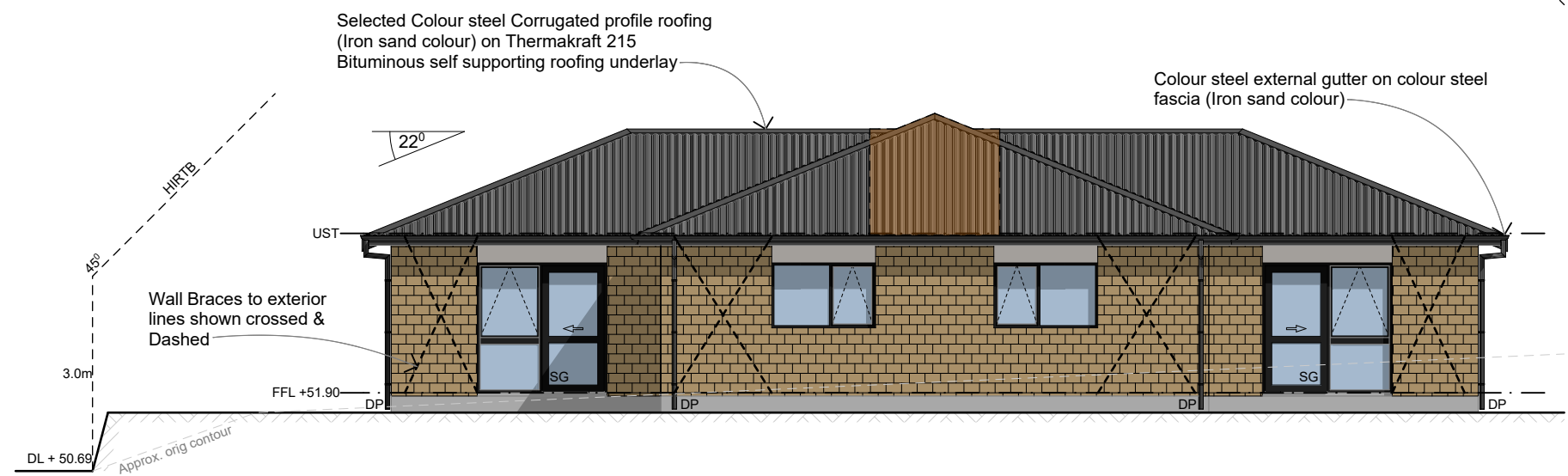
Received
PLANNING GUIDANCE
17.8.20



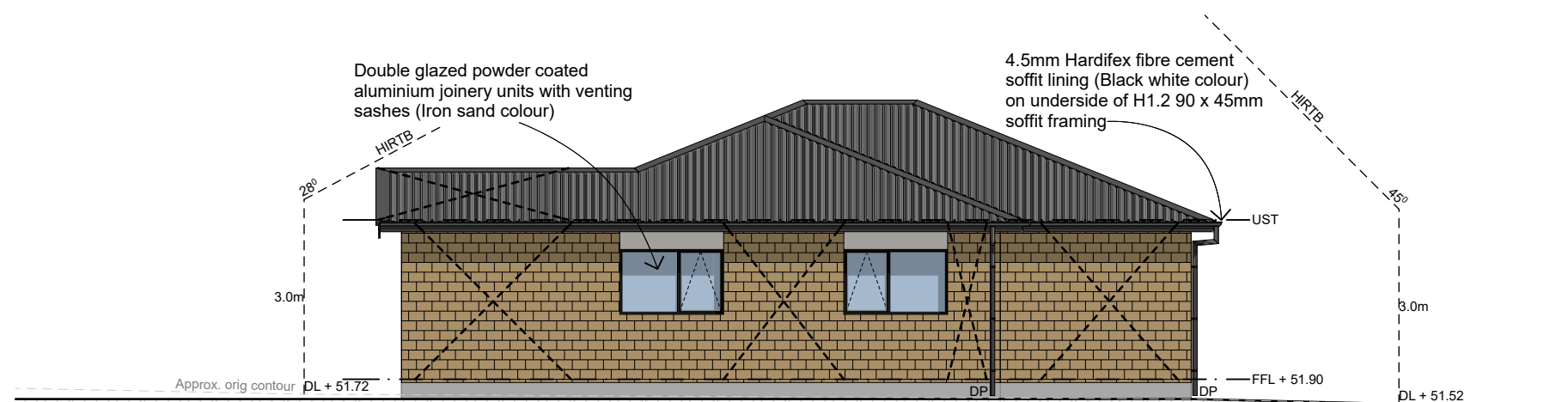
FINAL APPROVED
RESOURCE CONSENT PLANS
File # : 10.2020.10918.001
Date of Consent: 8.9.20



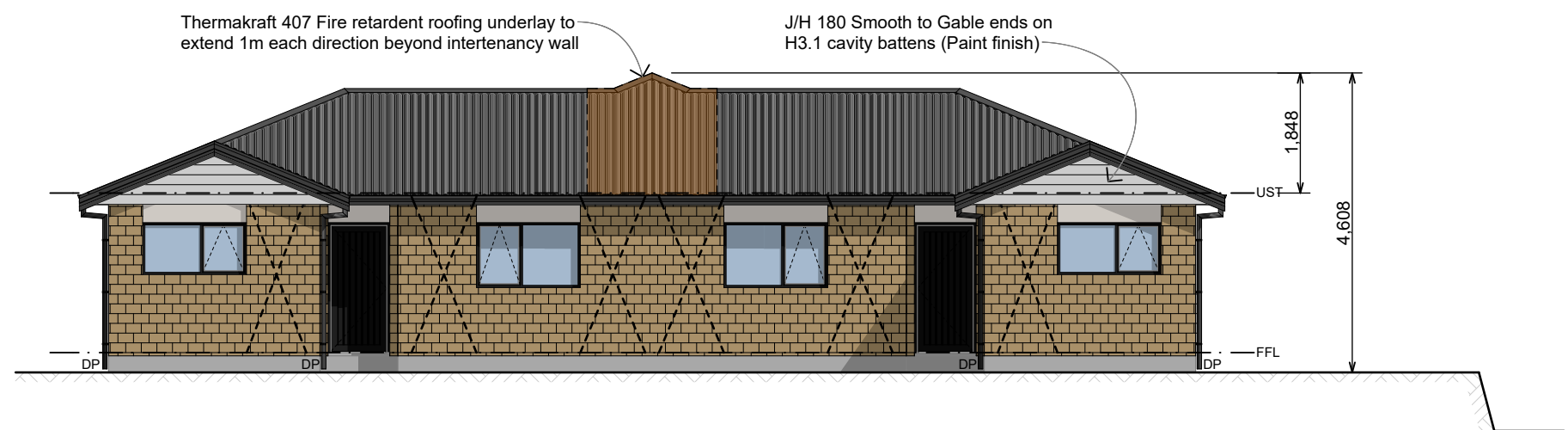
Note: 3D Images are a depiction for visualisation purposes only.



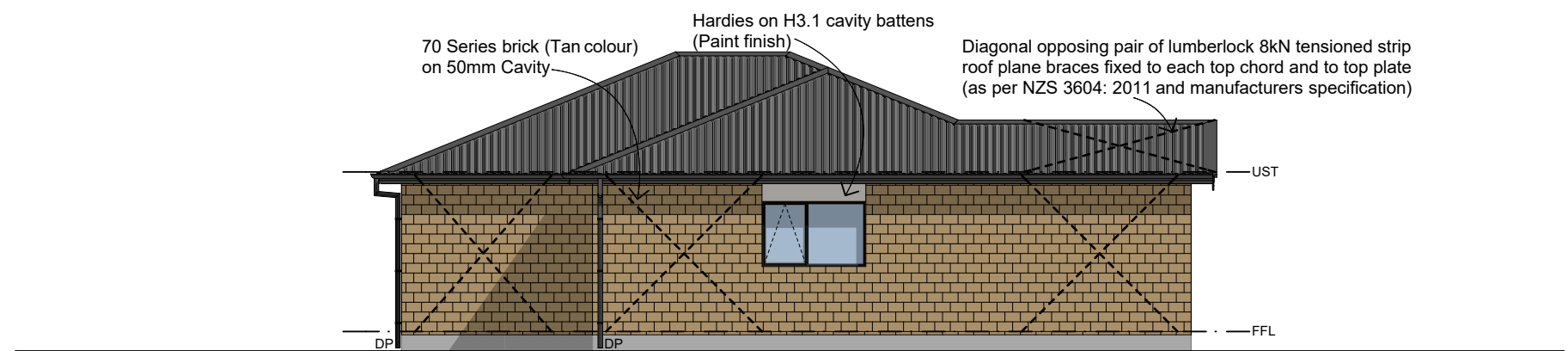
A NORTHERN ELEVATION 1:100



B EASTERN ELEVATION 1:100



C SOUTHERN ELEVATION 1:100



D WESTERN ELEVATION 1:100

Received
PLANNING GUIDANCE
BUILDING ENVELOPE RISK MATRIX
15th April 2020
Elevation A - B - C - D

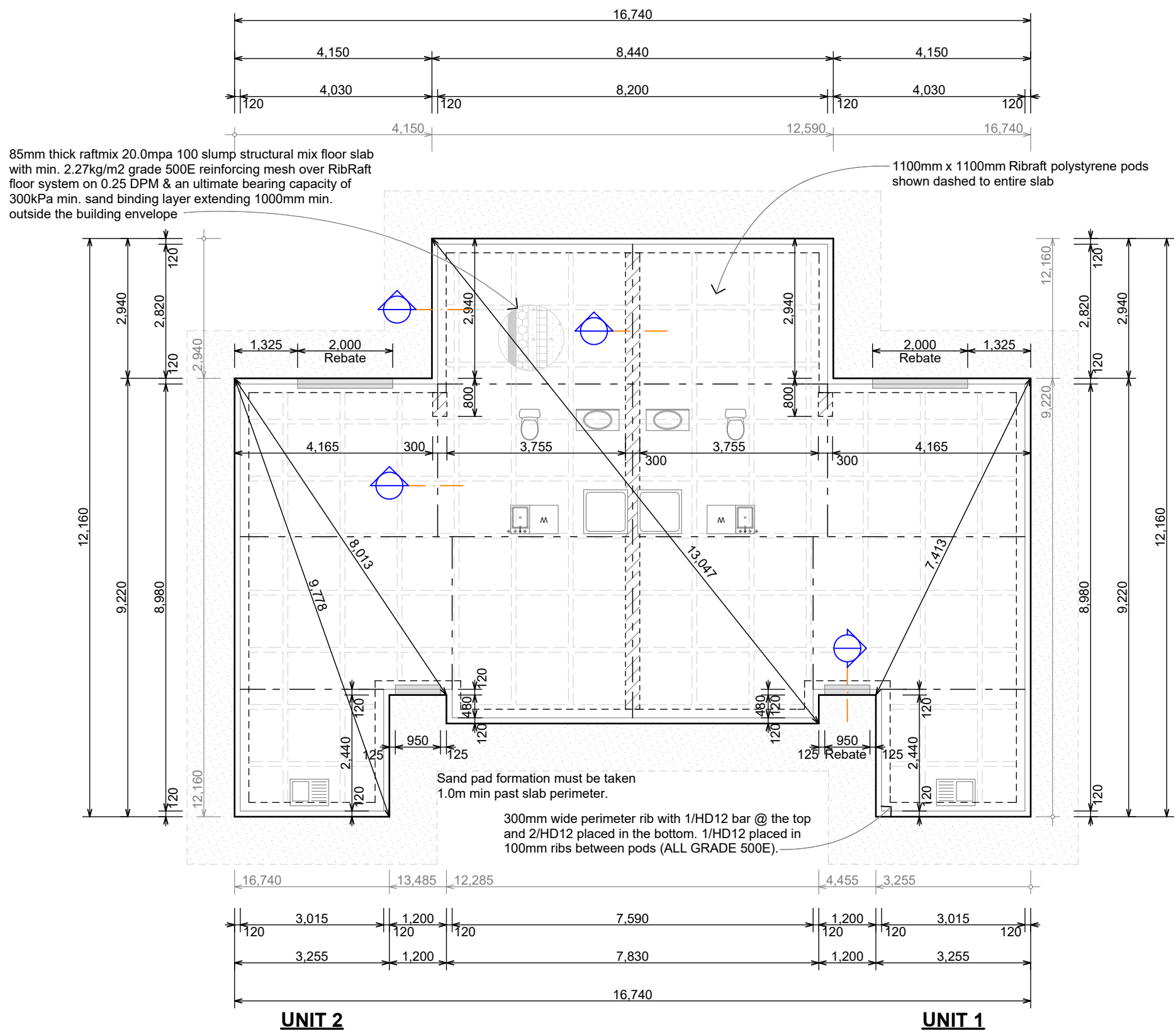
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Medium risk	0
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		2

NOTE:
• SG: Safety Glass

- GENERAL NOTES:
- Contractor to check & verify all dimensions on site prior to work commencing.
 - Read in conjunction with soil report for specific site excavation recommendations & the most recent version of the Firth Rib-Raft manual.
 - All foundations to be excavated to good soil bearing ground greater than 300 kPa.
 - Plumbing units above shown.
 - Concrete in slabs & footings to be 20 MPa min @ 28 Days unless otherwise stated. All Concrete to comply with NZS 3604:2011.
 - Depth of footings to be as per Firth Rib-Raft manual requirements.

- CONCRETE FOUNDATION NOTES:
- F.F.L of Slab to be 225mm min from finished ground level (Refer Footing details).
 - Check & confirm all cast in services prior to work commencing.
 - All services to be placed centrally with an opening 50mm greater in diameter than the service duct/pipe, to allow seismic tolerances.
 - Ensure min 2.27kg per/m² 500E grade mesh complying with AS/NZS:4671 is used in concrete slab.
 - All Reinforcing mesh to have min 300mm lap.
 - Shrinkage Saw cuts to be 25mm deep & cut with a 5mm Blade as shown on plan and in accordance with NZS 3604: 2011.
 - Allow for slab to be protected during construction process.
 - **Important Note:** Sand pad formation must be taken 1.0m min past slab perimeter.
- Key:
Footing line: _____
Edge of Slab line: _____
Shrinkage control indication: _____
Load Bearing footing 300 wide

Note:
For Typical Ribraft concrete Footing Details Refer Pg 15 of plan set.



FOUNDATION PLAN 1:100

**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 10.2020.10918.001
Date of Consent: 8.9.20

GENERAL NOTES:

- Contractor to check & verify all dimensions on site prior to work commencing.
- All work to comply with NZS 3604:2011 & the NZ Building Code.
- All materials lifetimes to comply with the NZ Building Code.
- Refer Bracing plan for lintels and bracing.
- All fittings & appliances to be specified by owner.
- Refer to owner regarding final kitchen layout.
- Certified smoke alarms compliant with Clause F7/AS1. ☉ S-A
- Allow install of safe tray under H.W.C.

FRAMING NOTES:

- Medium wind zone.
- All Framing Grade to be SG8 unless otherwise stated.
- DPC between all timber framing and concrete.
- Studs:
H1.2 90 x 45 studs @ 600 crs with nogs @ 800 crs.

Double Top Plate:
H1.2 140 x 35 top plate packer over all external & internal walls Unless otherwise stated.

Heights:
2455mm: Over all strapping
2420mm: Over all plates
2330mm: Stud length
2000mm: Ext joinery head height
2000mm: Int door head height
Trim sizes to be determined by frame designer & Contractor

Bottom plate fixings:
90 x 45 H3.2 bottom plate on **DPC** fixed with bottom plate anchors within 150mm of each end of plate and spaced @ 900 crs.

AREAS (PER UNIT):

Dwelling area (o/cladding): 79.1m²
Dwelling area (o/frame): 75.1m²
Porch area: 0.7m²
Roof area: 90.2m²

JOINERY NOTES:

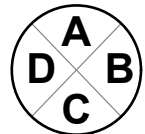
- Natural lighting to habitable spaces >10% as per NZBC G7/AS1. Ventilation to habitable spaces >5% as per NZBC G4/AS1.
- All aluminium joinery glazing is to comply with NZS:4223.
- All joinery dimensions are stated as true sizes (Allow appropriate clearances to frames). Joiner to confirm all sizes on site prior to manufacture.
- All aluminium joinery in dwelling to be double glazed.
- All internal doors to suit ex 20mm Architraves. Doors as specified by owner.
- Obscure Safety glass to Bathroom & Ensuite windows. Refer Elevations for all other safety glass units required.
- All exterior joinery jamb liners are to be H3.1 min treated.

INSULATION NOTES:

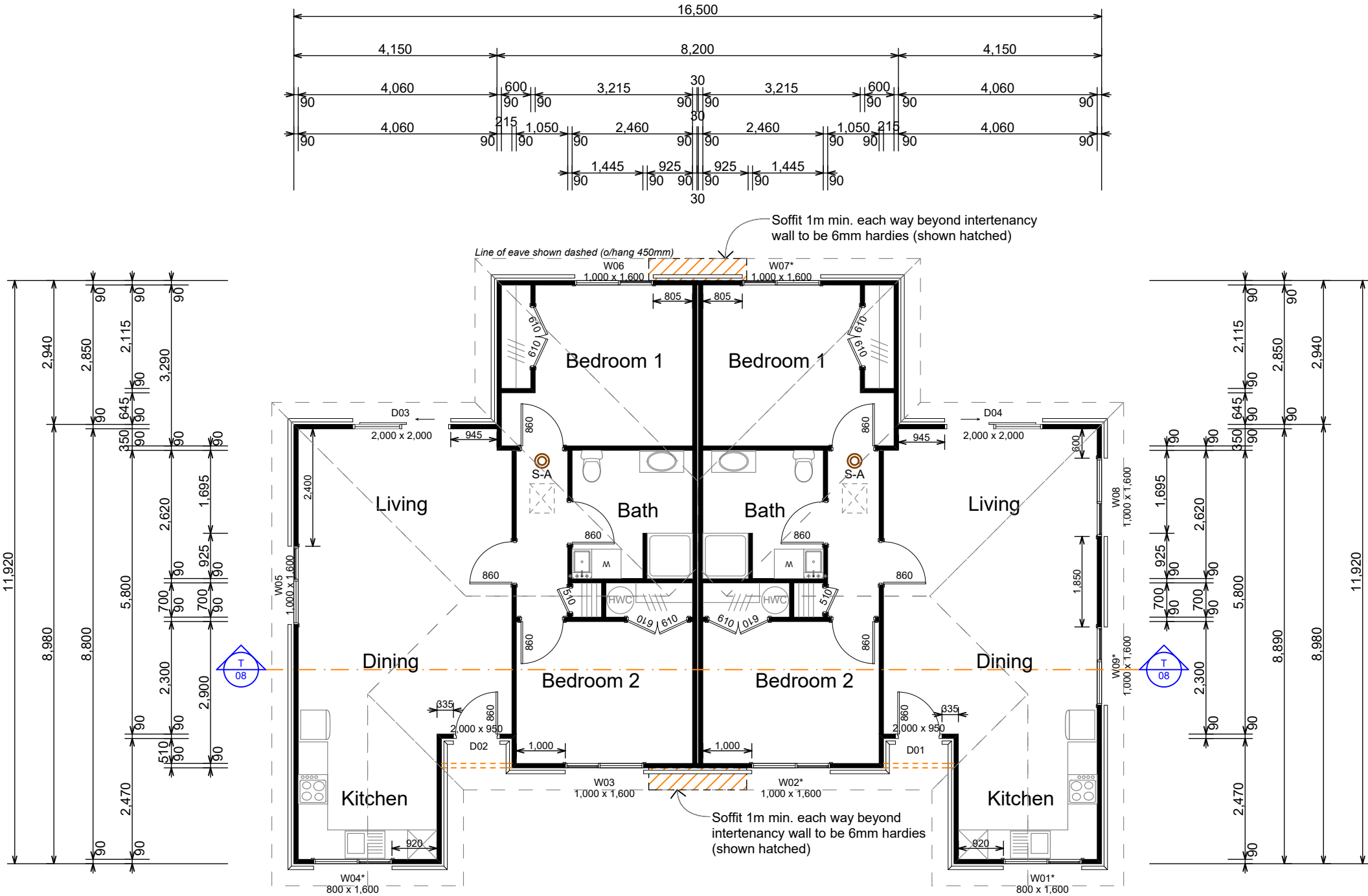
Exterior walls: R2.2 min,
Ceiling: R3.6 min.
Refer project specifications for H1 Calculations.

WET AREA NOTES:

- All wet area walls & ceilings to be lined with Gib Aqualine.
- All wet area floors to be vinyl.
- Shower to Bath room to be Stainless steel with vinyl liner.
- All Glass shelving and screens in wet areas to be toughened safety Glass.

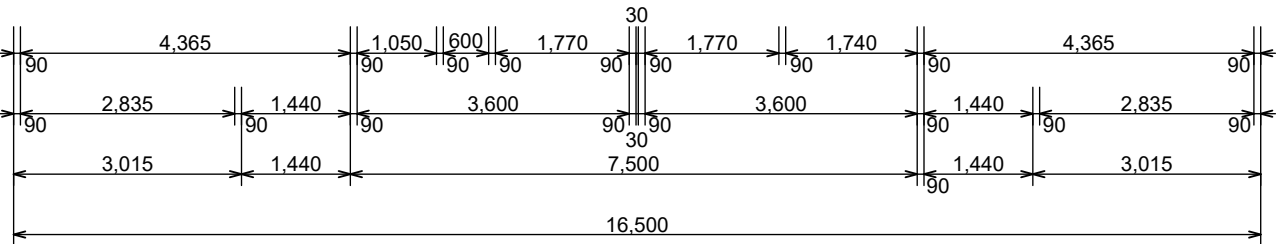


Elevations



UNIT 2

UNIT 1



FLOOR PLAN

1:100

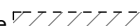


NOTE:
• SG: Safety Glass

CONCRETE FOUNDATION NOTES:

- F.F.L of Slab to be 225mm min from finished ground level (Refer Footing details).
- Check & confirm all cast in services prior to work commencing.
- All services to be placed centrally with an opening 50mm greater in diameter than the service duct/pipe, to allow seismic tolerances.
- Ensure min 2.27kg per/m² 500E grade mesh complying with AS/NZS:4671 is used in concrete slab.
- All Reinforcing mesh to have min 300mm lap.
- Shrinkage Saw cuts to be 25mm deep & cut with a 5mm Blade as shown on plan and in accordance with NZS 3604: 2011.
- Allow for slab to be protected during construction process.

Important Note:
Sand pad formation must be taken 1.0m min past slab perimeter.

Key:
Footing line: -----
Edge of Slab line: _____
Shrinkage control -----
indication: -----
Load Bearing footing 300 wide 

Note:
For Typical Ribraft concrete Footing Details
Refer Pg 15 of plan set.

85mm thick raftmix 20.0mpa 100 slump structural mix floor slab with min. 2.27kg/m² grade 500E reinforcing mesh over RibRaft floor system on 0.25 DPM & an ultimate bearing capacity of 300kPa min. sand binding layer extending 1000mm min. outside the building envelope

1100mm x 1100mm Ribraft polystyrene pods shown dashed to entire slab

Sand pad formation must be taken 1.0m min past slab perimeter.

300mm wide perimeter rib with 1/HD12 bar @ the top and 2/HD12 placed in the bottom. 1/HD12 placed in 100mm ribs between pods (ALL GRADE 500E).

UNIT 3

UNIT 4

UNIT 3

UNIT 4

FOUNDATION PLAN

1:100

**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 10.2020.10918.001
Date of Consent: 8.9.20

GENERAL NOTES:

- Contractor to check & verify all dimensions on site prior to work commencing.
- All work to comply with NZS 3604:2011 & the NZ Building Code.
- All materials lifetimes to comply with the NZ Building Code.
- Refer Bracing plan for lintels and bracing.
- All fittings & appliances to be specified by owner.
- Refer to owner regarding final kitchen layout.
- Certified smoke alarms compliant with Clause F7/AS1. ☉ S-A
- Allow install of safe tray under H.W.C.

FRAMING NOTES:

- Medium wind zone.
- All Framing Grade to be SG8 unless otherwise stated.

- DPC between all timber framing and concrete.

Studs:
H1.2 90 x 45 studs @ 600 crs with nogs @ 800 crs.

Double Top Plate:
H1.2 140 x 35 top plate packer over all external & internal walls Unless otherwise stated.

Heights:
2455mm: Over all strapping
2420mm: Over all plates
2330mm: Stud length
2000mm: Ext joinery head height
2000mm: Int door head height
Trim sizes to be determined by frame designer & Contractor

Bottom plate fixings:
90 x 45 H3.2 bottom plate on **DPC** fixed with bottom plate anchors within 150mm of each end of plate and spaced @ 900 crs.

AREAS:

	Unit 3	Unit 4
Dwelling area (o/cladding):	80.5m ²	79.1m ²
Dwelling area (o/frame):	77.2m ²	75.1m ²
Portico / Porch area:	0.8m ²	0.7m ²
Roof area:	90.4m ²	90.2m ²

JOINERY NOTES:

- Natural lighting to habitable spaces >10% as per NZBC G7/AS1. Ventilation to habitable spaces >5% as per NZBC G4/AS1.
- All aluminium joinery glazing is to comply with NZS:4223.
- All joinery dimensions are stated as true sizes (Allow appropriate clearances to frames). Joiner to confirm all sizes on site prior to manufacture.
- All aluminium joinery in dwelling to be double glazed.
- All internal doors to suit ex 20mm Architraves. Doors as specified by owner.
- Obscure Safety glass to Bathroom & Ensuite windows. Refer Elevations for all other safety glass units required.
- All exterior joinery jamb liners are to be H3.1 min treated.

INSULATION NOTES:

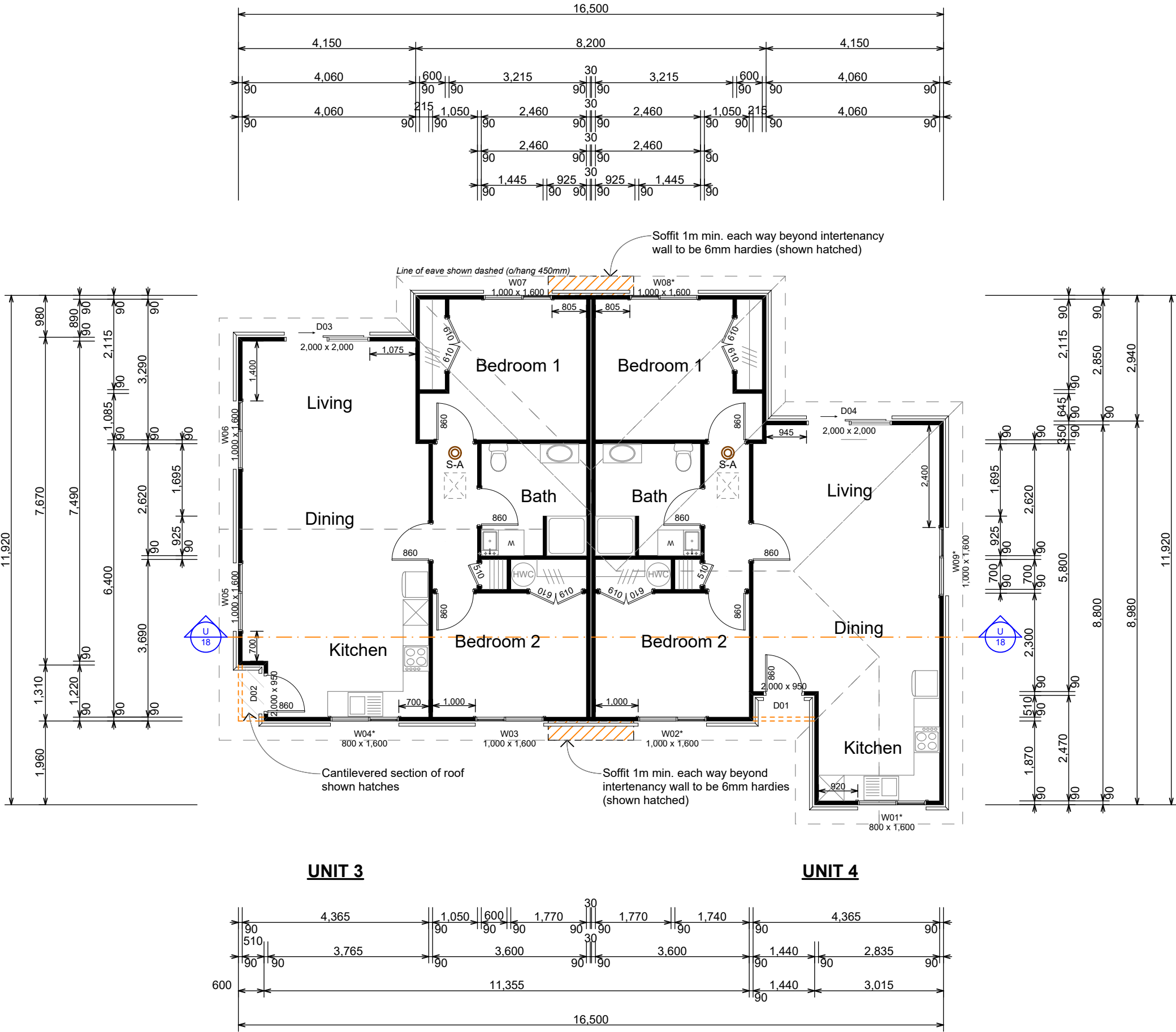
Exterior walls: R2.2 min,
Ceiling: R3.6 min.
Refer project specifications for H1 Calculations.

WET AREA NOTES:

- All wet area walls & ceilings to be lined with Gib Aqualine.
- All wet area floors to be vinyl.
- Shower to Bath room to be Stainless steel with vinyl liner.
- All Glass shelving and screens in wet areas to be toughened safety Glass.

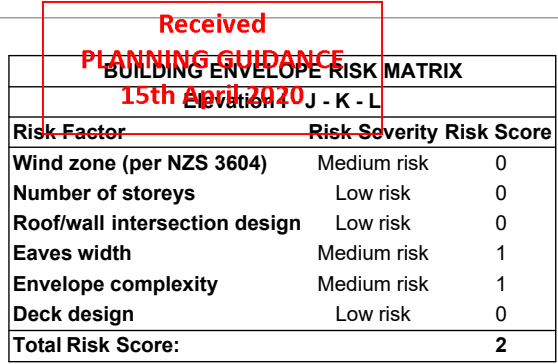


Elevations



FLOOR PLAN

1:100



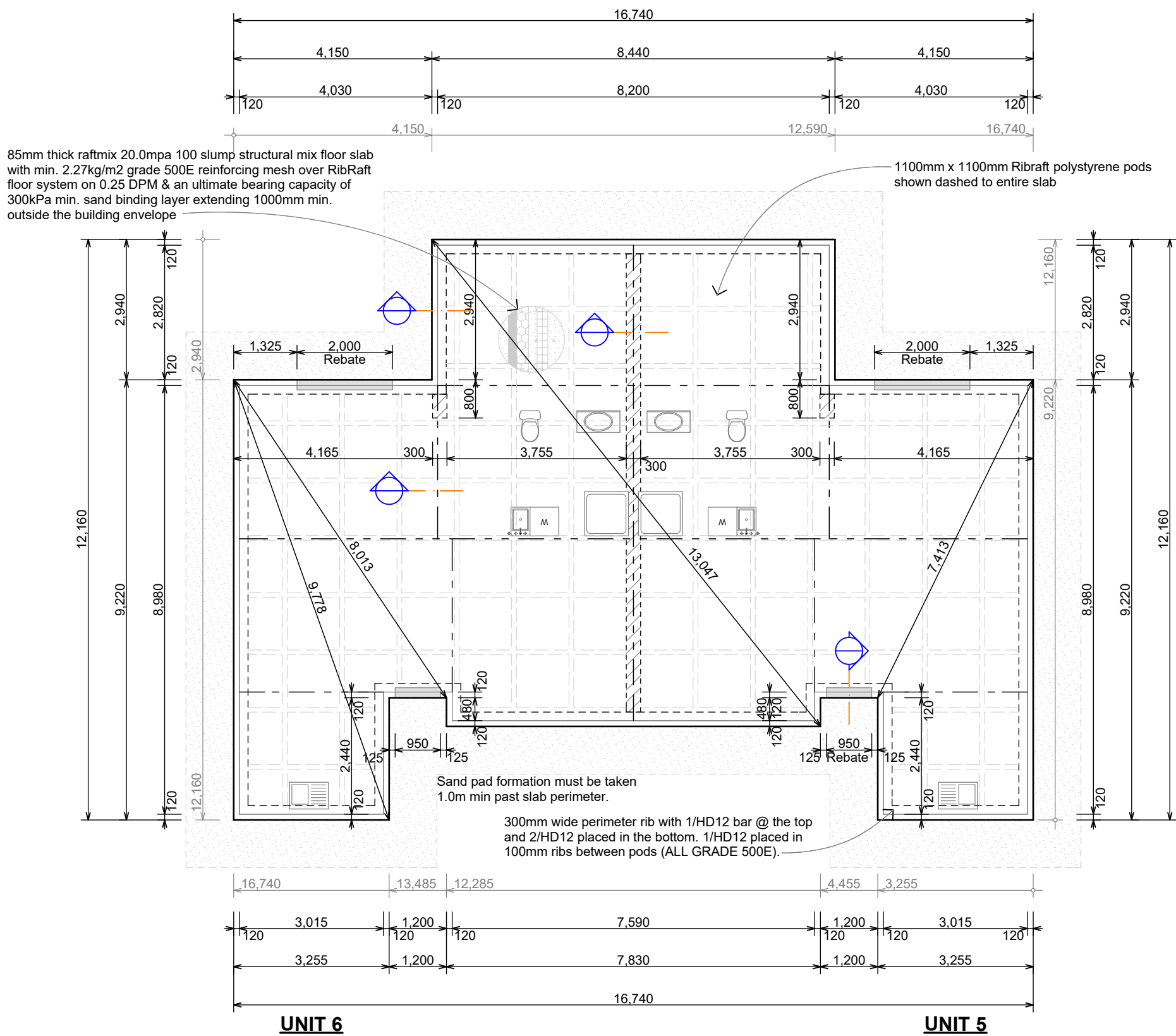
FINAL APPROVED
RESOURCE CONSENT PLANS
File # : 10.2020.10918.001
Date of Consent: 8.9.20

J EASTERN ELEVATION 1:100

K SOUTHERN ELEVATION 1:100

L WESTERN ELEVATION 1:100

Note:
For Typical Ribraft concrete Footing Details
Refer **Pg 15** of plan set.



FOUNDATION PLAN 1:100

**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 10.2020.10918.001
Date of Consent: 8.9.20

GENERAL NOTES:

- Contractor to check & verify all dimensions on site prior to work commencing.
- All work to comply with NZS 3604:2011 & the NZ Building Code.
- All materials lifetimes to comply with the NZ Building Code.
- Refer Bracing plan for lintels and bracing.
- All fittings & appliances to be specified by owner.
- Refer to owner regarding final kitchen layout.
- Certified smoke alarms compliant with Clause F7/AS1. ☉ S-A
- Allow install of safe tray under H.W.C.

FRAMING NOTES:

- Medium wind zone.
- All Framing Grade to be SG8 unless otherwise stated.
- DPC between all timber framing and concrete.
- Studs:**
H1.2 90 x 45 studs @ 600 crs with nogs @ 800 crs.
- Double Top Plate:**
H1.2 140 x 35 top plate packer over all external & internal walls Unless otherwise stated.
- Heights:**
2455mm: Over all strapping
2420mm: Over all plates
2330mm: Stud length
2000mm: Ext joinery head height
2000mm: Int door head height
Trim sizes to be determined by frame designer & Contractor
- Bottom plate fixings:**
90 x 45 H3.2 bottom plate on **DPC** fixed with bottom plate anchors within 150mm of each end of plate and spaced @ 900 crs.

AREAS (PER UNIT):

Dwelling area (o/cladding):	79.1m ²
Dwelling area (o/frame):	75.1m ²
Porch area:	0.7m ²
Roof area:	90.2m ²

JOINERY NOTES:

- Natural lighting to habitable spaces >10% as per NZBC G7/AS1. Ventilation to habitable spaces >5% as per NZBC G4/AS1.
- All aluminium joinery glazing is to comply with NZS:4223.
- All joinery dimensions are stated as true sizes (Allow appropriate clearances to frames). Joiner to confirm all sizes on site prior to manufacture.
- All aluminium joinery in dwelling to be double glazed. Allow single glazing to garage.
- All internal doors to suit ex 20mm Architraves. Doors as specified by owner.
- Obscure Safety glass to Bathroom & Ensuite windows. Refer Elevations for all other safety glass units required.
- All exterior joinery jamb liners are to be H3.1 min treated.

INSULATION NOTES:

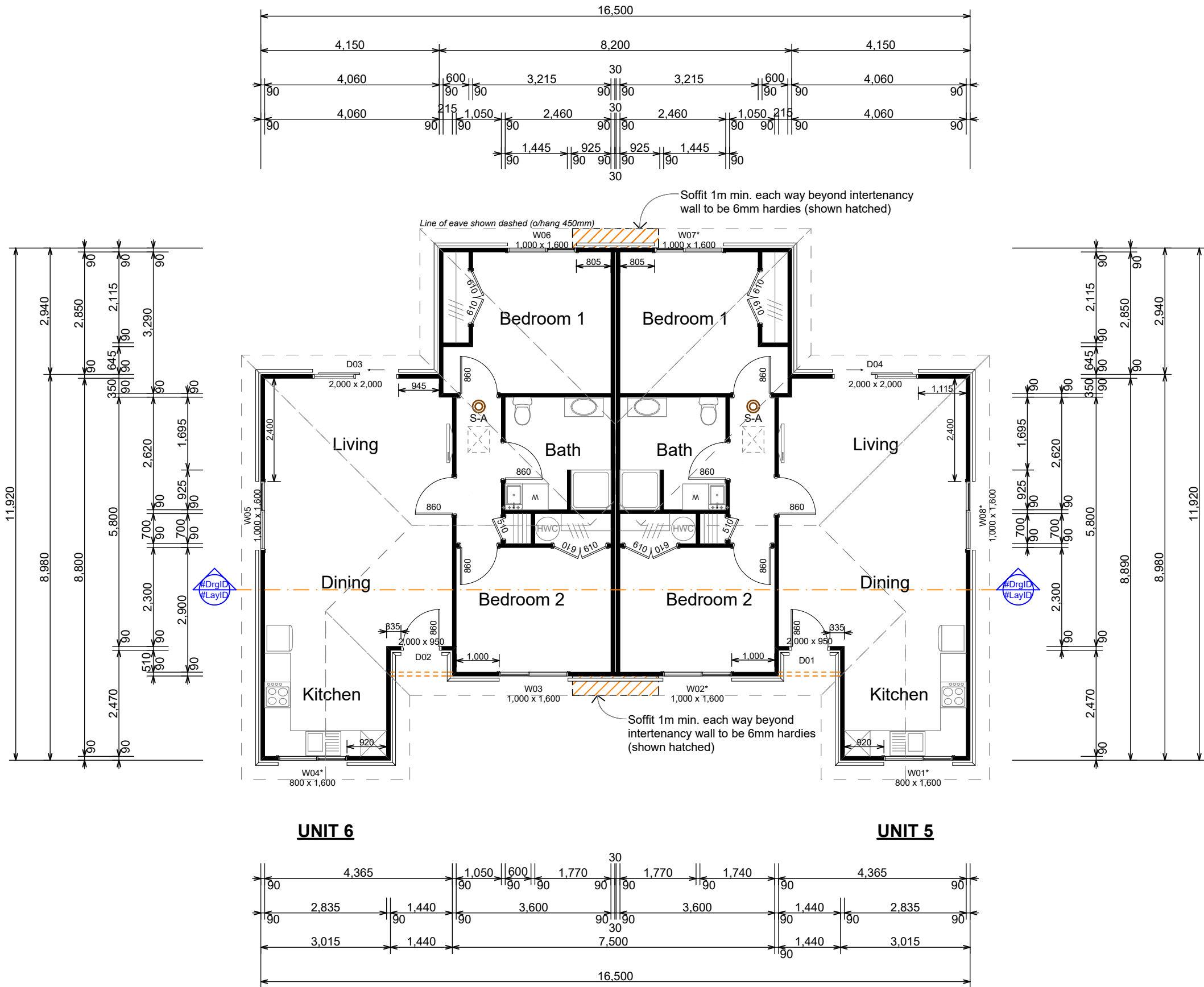
Exterior walls: R2.2 min.
Ceiling: R3.6 min.
Refer project specifications for H1 Calculations.

WET AREA NOTES:

- All wet area walls & ceilings to be lined with Gib Aqualine.
- All wet area floors to be vinyl.
- Shower to Bath room to be Stainless steel with vinyl liner.
- All Glass shelving and screens in wet areas to be toughened safety Glass.



Elevations



FLOOR PLAN

1:100

RISK GUIDANCE BUILDING ENVELOPE RISK MATRIX			
April 2020			
Elevation M - N - O - P			
Risk Factor	M	N	Risk Score
Wind zone (per NZS 3604)	Medium risk		0
Number of storeys	Low risk		0
Roof/wall intersection design	Low risk		0
Eaves width	Medium risk		1
Envelope complexity	Medium risk		1
Deck design	Low risk		0
Total Risk Score:			2



Load Bearing footing 300 wide [/////////]

**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 10.2020.10918.001
Date of Consent: 8.9.20

GENERAL NOTES:

- Contractor to check & verify all dimensions on site prior to work commencing.
- All work to comply with NZS 3604:2011 & the NZ Building Code.
- All materials lifetimes to comply with the NZ Building Code.
- Refer Bracing plan for lintels and bracing.
- All fittings & appliances to be specified by owner.
- Refer to owner regarding final kitchen layout.
- Certified smoke alarms compliant with Clause F7/AS1. ☉ S-A
- Allow install of safe tray under H.W.C.

FRAMING NOTES:

- Medium wind zone.
- All Framing Grade to be SG8 unless otherwise stated.
- DPC between all timber framing and concrete.

Studs:
H1.2 90 x 45 studs @ 600 crs with nogs @ 800 crs.

Double Top Plate:
H1.2 140 x 35 top plate packer over all external & internal walls Unless otherwise stated.

Heights:
2455mm: Over all strapping
2420mm: Over all plates
2330mm: Stud length
2000mm: Ext joinery head height
2000mm: Int door head height
Trim sizes to be determined by frame designer & Contractor

Bottom plate fixings:
90 x 45 H3.2 bottom plate on **DPC** fixed with bottom plate anchors within 150mm of each end of plate and spaced @ 900 crs.

AREAS:

	Unit 8	Unit 7
Dwelling area (o/cladding):	77.5m ²	78.6m ²
Dwelling area (o/frame):	73.3m ²	75.0m ²
Portico / Porch area:	0.8m ²	0.8m ²
Roof area:	88.9m ²	89.5m ²

JOINERY NOTES:

- Natural lighting to habitable spaces >10% as per NZBC G7/AS1. Ventilation to habitable spaces >5% as per NZBC G4/AS1.
- All aluminium joinery glazing is to comply with NZS:4223.
- All joinery dimensions are stated as true sizes (Allow appropriate clearances to frames). Joiner to confirm all sizes on site prior to manufacture.
- All aluminium joinery in dwelling to be double glazed.

- All internal doors to suit ex 20mm Architraves. Doors as specified by owner.

- Obscure Safety glass to Bathroom & Ensuite windows. Refer Elevations for all other safety glass units required.

- All exterior joinery jamb liners are to be H3.1 min treated.

INSULATION NOTES:

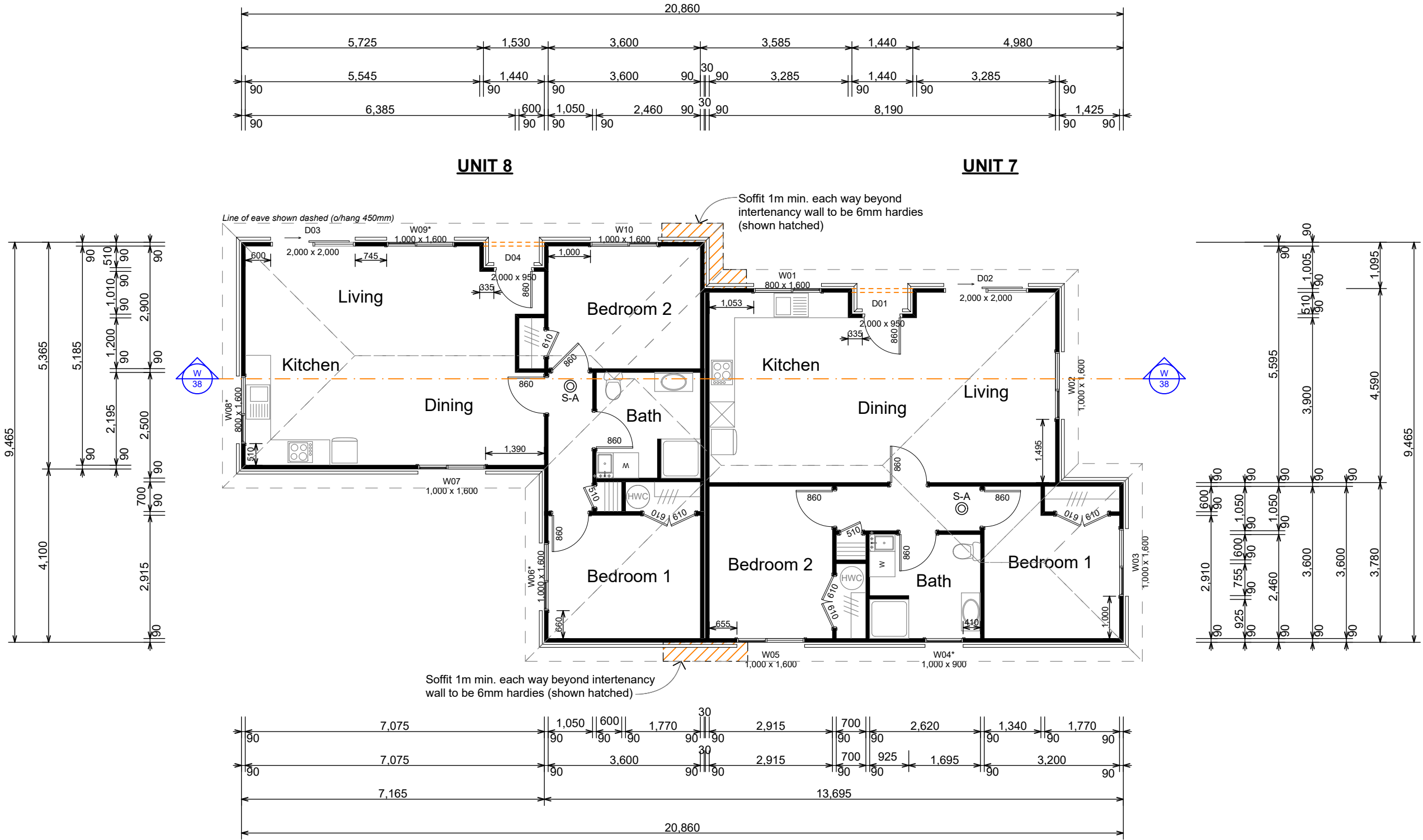
Exterior walls: R2.2 min,
Ceiling: R3.6 min.
Refer project specifications for H1 Calculations.

WET AREA NOTES:

- All wet area walls & ceilings to be lined with Gib Aqualine.
- All wet area floors to be vinyl.
- Shower to Bath room to be Stainless steel with vinyl liner.
- All Glass shelving and screens in wet areas to be toughened safety Glass.



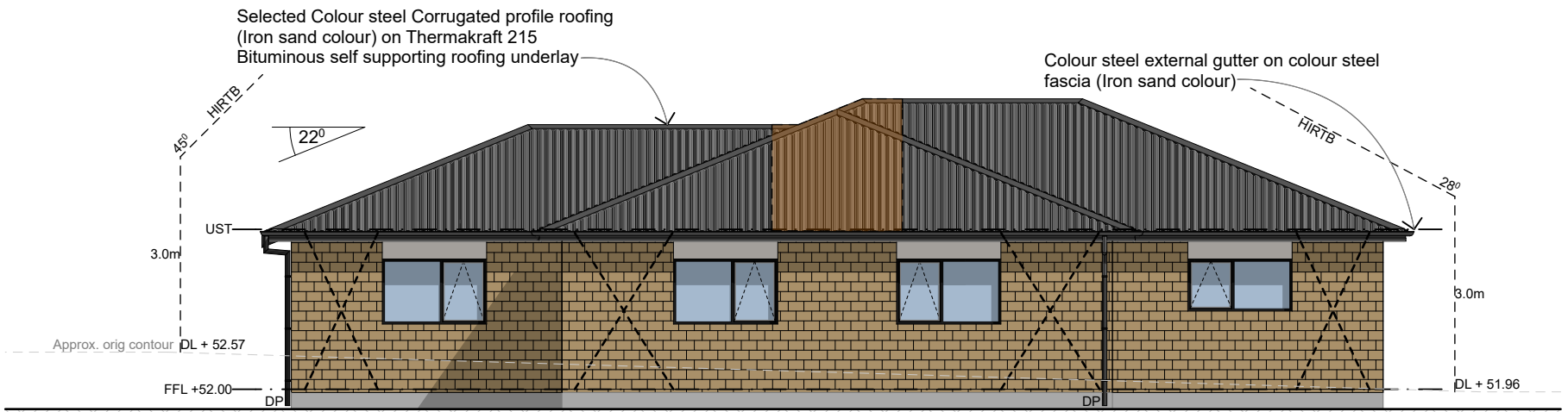
Elevations



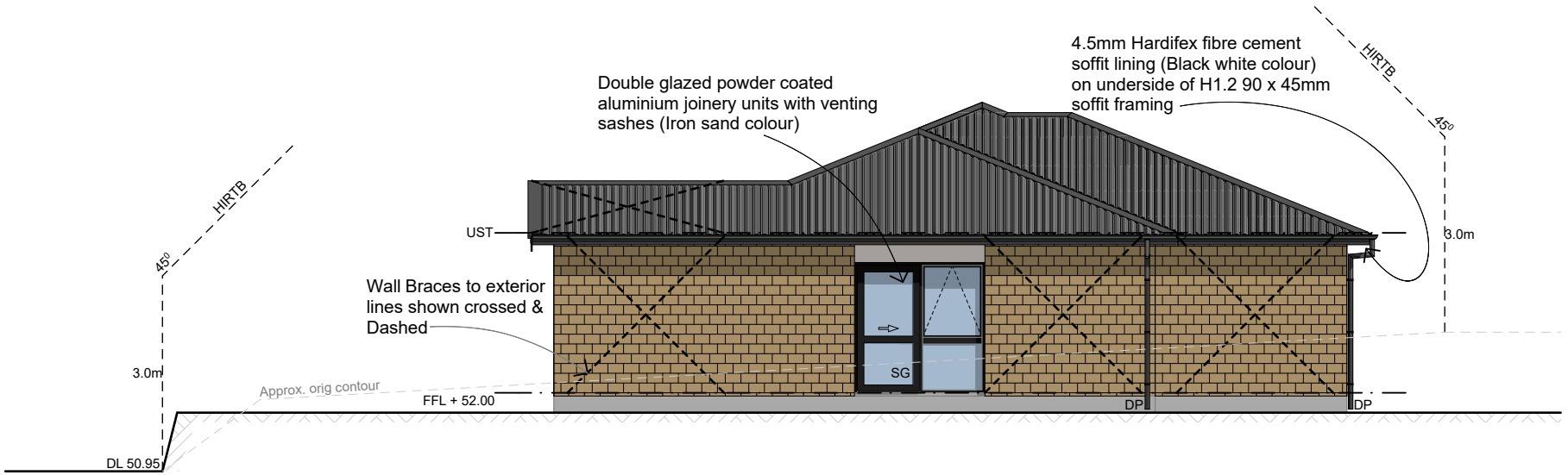
FLOOR PLAN

1:100

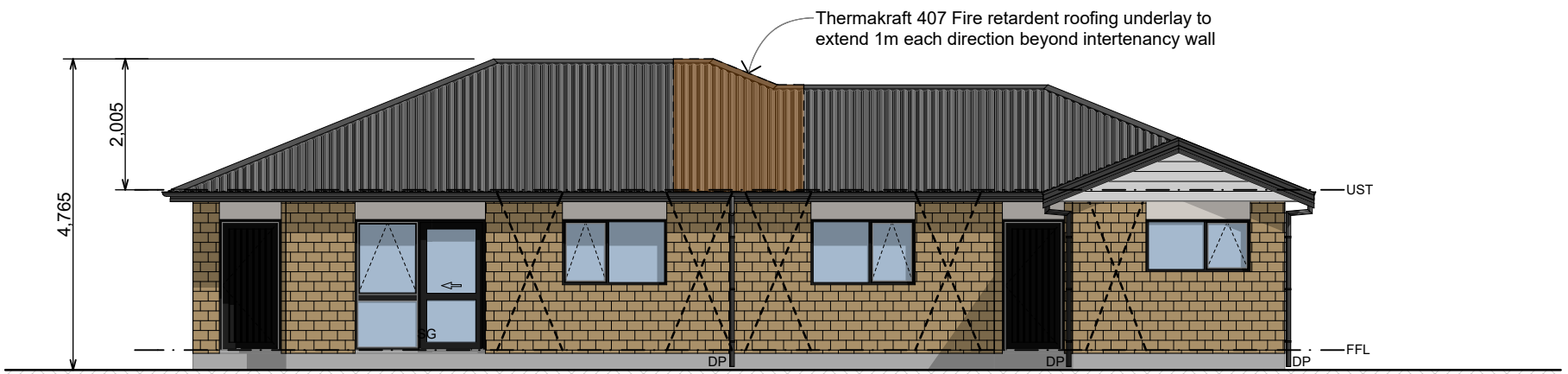
NOTE:
• SG: Safety Glass



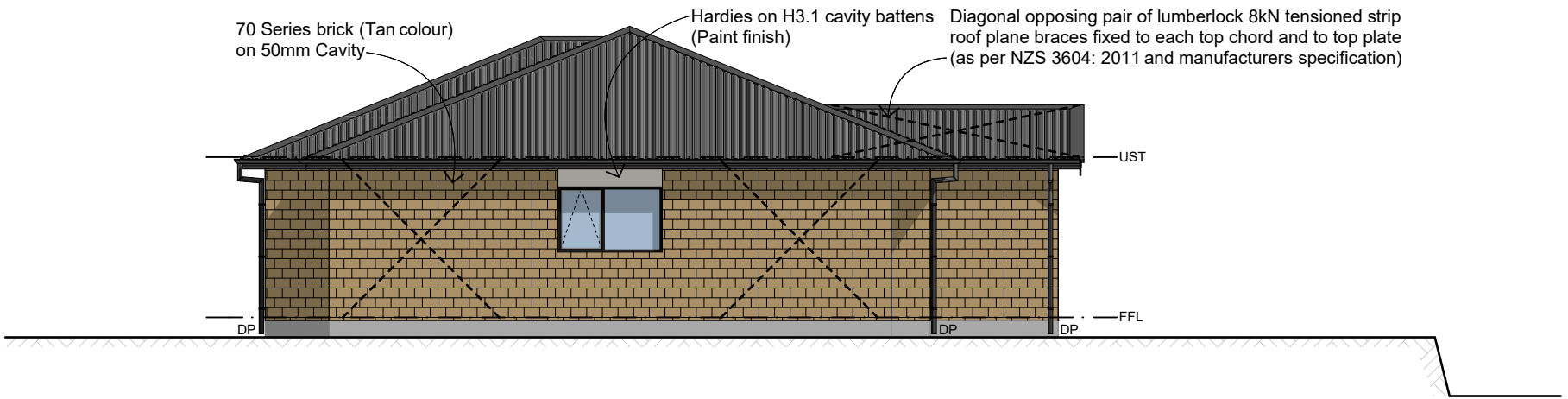
Q WESTERN ELEVATION 1:100



R NORTHERN ELEVATION 1:100



S EASTERN ELEVATION 1:100



T SOUTHERN ELEVATION 1:100

Received
PLANNING GUIDANCE
15th April 2020

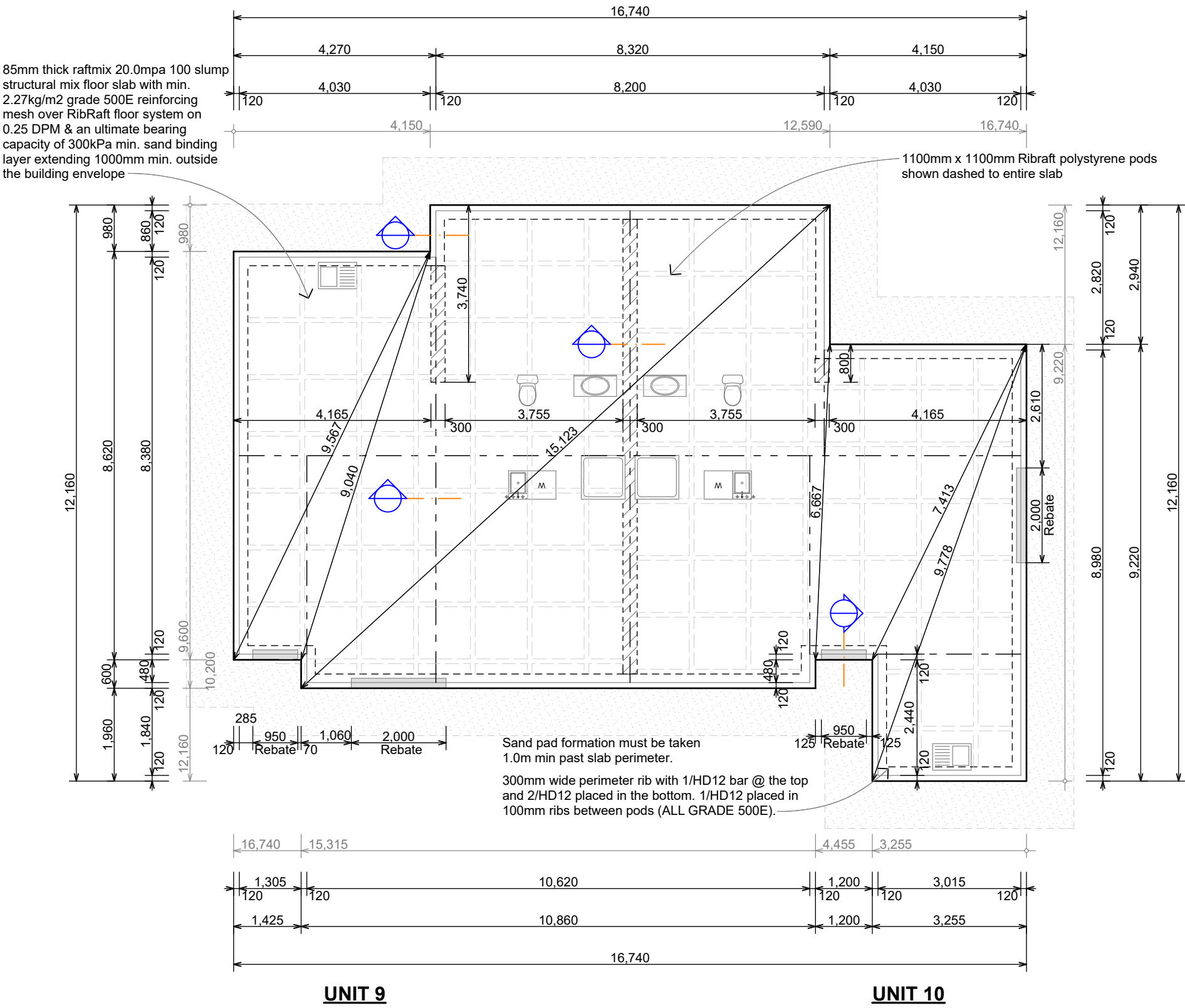
BUILDING ENVELOPE RISK MATRIX		
Elevation R - S - T		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Medium risk	0
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		2

FINAL APPROVED
RESOURCE CONSENT PLANS
File # : 10.2020.10918.001
Date of Consent: 8.9.20

- GENERAL NOTES:
- Contractor to check & verify all dimensions on site prior to work commencing.
 - Read in conjunction with soil report for specific site excavation recommendations & the most recent version of the Firth Rib-Raft manual.
 - All foundations to be excavated to good soil bearing ground greater than 300 kPa.
 - Plumbing units above shown.
 - Concrete in slabs & footings to be 20 MPa min @ 28 Days unless otherwise stated. All Concrete to comply with NZS 3604:2011.
 - Depth of footings to be as per Firth Rib-Raft manual requirements.

- CONCRETE FOUNDATION NOTES:
- F.F.L. of Slab to be 225mm min from finished ground level (Refer Footing details).
 - Check & confirm all cast in services prior to work commencing.
 - All services to be placed centrally with an opening 50mm greater in diameter than the service duct/pipe, to allow seismic tolerances.
 - Ensure min 2.27kg per/m² 500E grade mesh complying with AS/NZS:4671 is used in concrete slab.
 - All Reinforcing mesh to have min 300mm lap.
 - Shrinkage Saw cuts to be 25mm deep & cut with a 5mm Blade as shown on plan and in accordance with NZS 3604: 2011.
 - Allow for slab to be protected during construction process.
 - Important Note:
Sand pad formation must be taken 1.0m min past slab perimeter.
- Key:
Footing line: _____
Edge of Slab line: _____
Shrinkage control indication: _____
Load Bearing footing 300 wide

Note:
For Typical Ribraft concrete Footing Details Refer Pg 15 of plan set.



UNIT 9

UNIT 10

FOUNDATION PLAN

1:100

FINAL APPROVED
RESOURCE CONSENT PLANS
File # : 10.2020.10918.001
Date of Consent: 8.9.20

Received
PLANNING GUIDANCE
17.08.20

GENERAL NOTES:

- Contractor to check & verify all dimensions on site prior to work commencing.
- All work to comply with NZS 3604:2011 & the NZ Building Code.
- All materials lifetimes to comply with the NZ Building Code.
- Refer Bracing plan for lintels and bracing.
- All fittings & appliances to be specified by owner.
- Refer to owner regarding final kitchen layout.
- Certified smoke alarms compliant with Clause F7/AS1. ☉ S-A
- Allow install of safe tray under H.W.C.

FRAMING NOTES:

- Medium wind zone.
- All Framing Grade to be SG8 unless otherwise stated.
- DPC between all timber framing and concrete.

Studs:
H1.2 90 x 45 studs @ 600 crs with nogs @ 800 crs.

Double Top Plate:
H1.2 140 x 35 top plate packer over all external & internal walls Unless otherwise stated.

Heights:
2455mm: Over all strapping
2420mm: Over all plates
2330mm: Stud length
2000mm: Ext joinery head height
2000mm: Int door head height
Trim sizes to be determined by frame designer & Contractor

Bottom plate fixings:
90 x 45 H3.2 bottom plate on DPC fixed with bottom plate anchors within 150mm of each end of plate and spaced @ 900 crs.

AREAS:	Unit 9	Unit 10
Dwelling area (o/cladding):	80.5m ²	79.1m ²
Dwelling area (o/frame):	77.2m ²	75.1m ²
Portico / Porch area:	0.8m ²	0.7m ²
Roof area:	90.4m ²	90.2m ²

JOINERY NOTES:

- Natural lighting to habitable spaces >10% as per NZBC G7/AS1. Ventilation to habitable spaces >5% as per NZBC G4/AS1.
- All aluminium joinery glazing is to comply with NZS:4223.
- All joinery dimensions are stated as true sizes (Allow appropriate clearances to frames). Joiner to confirm all sizes on site prior to manufacture. Manufacturer to allow for rebated door sills (refer Foundation Plan for locations)
- All aluminium joinery in dwelling to be double glazed.
- All internal doors to suit ex 20mm Architraves. Doors as specified by owner.
- Obscure Safety glass to Bathroom & Ensuite windows. Refer Elevations for all other safety glass units required.
- All exterior joinery jamb liners are to be H3.1 min treated.

INSULATION NOTES:

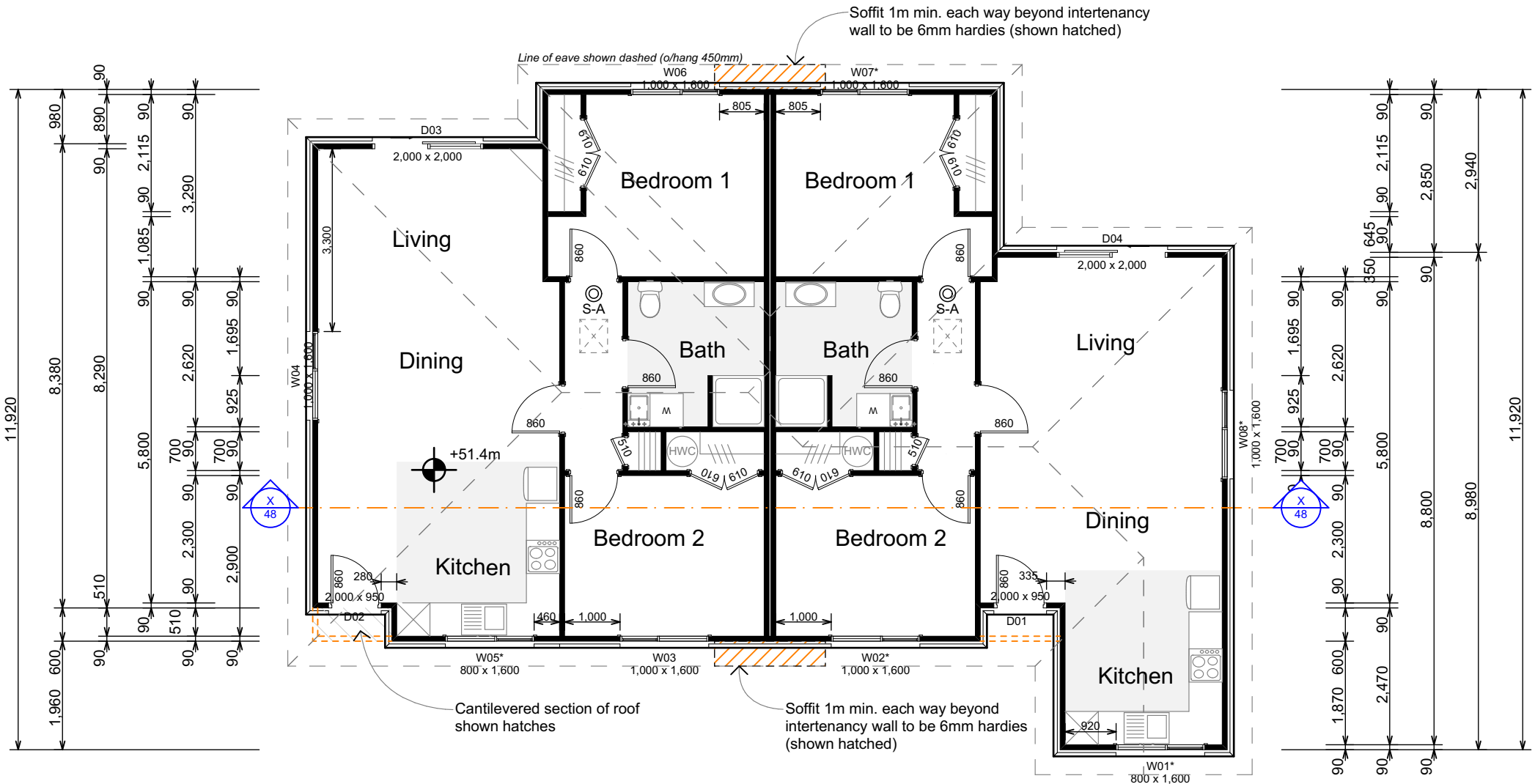
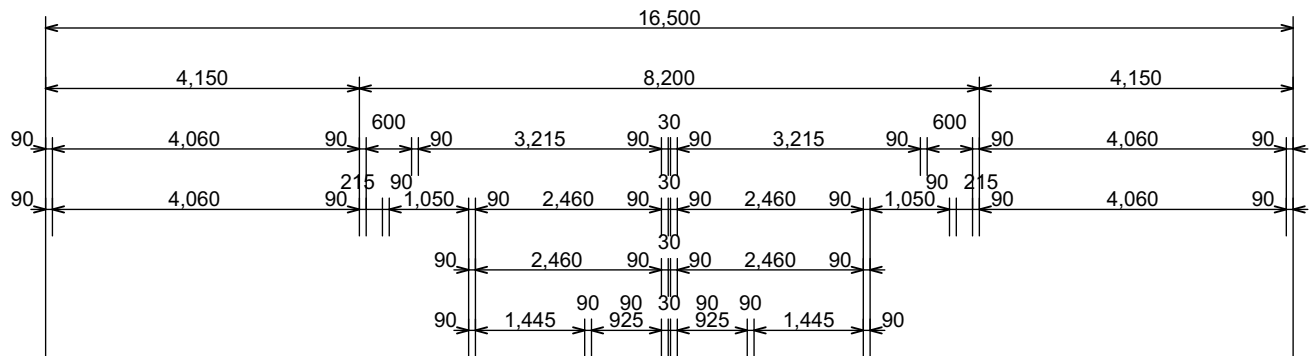
Exterior walls: R2.2 min,
Ceiling: R3.6 min.
Refer project specifications for H1 Calculations.

WET AREA NOTES:

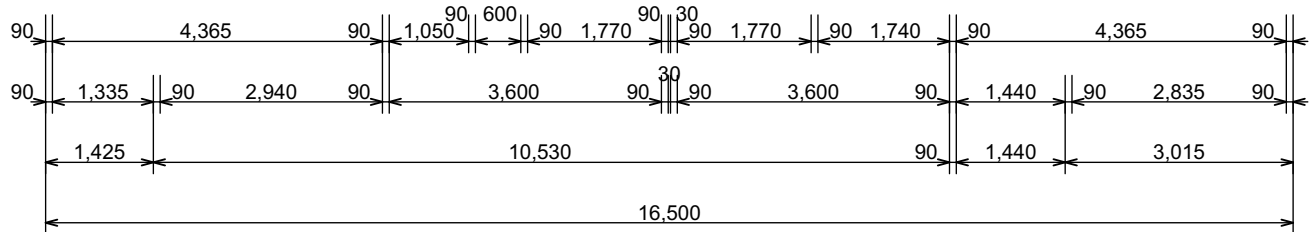
- All wet area walls & ceilings to be lined with Gib Aqualine.
- All wet area floors to be vinyl.
- Shower to Bath room to be Stainless steel with vinyl liner.
- All Glass shelving and screens in wet areas to be toughened safety Glass.



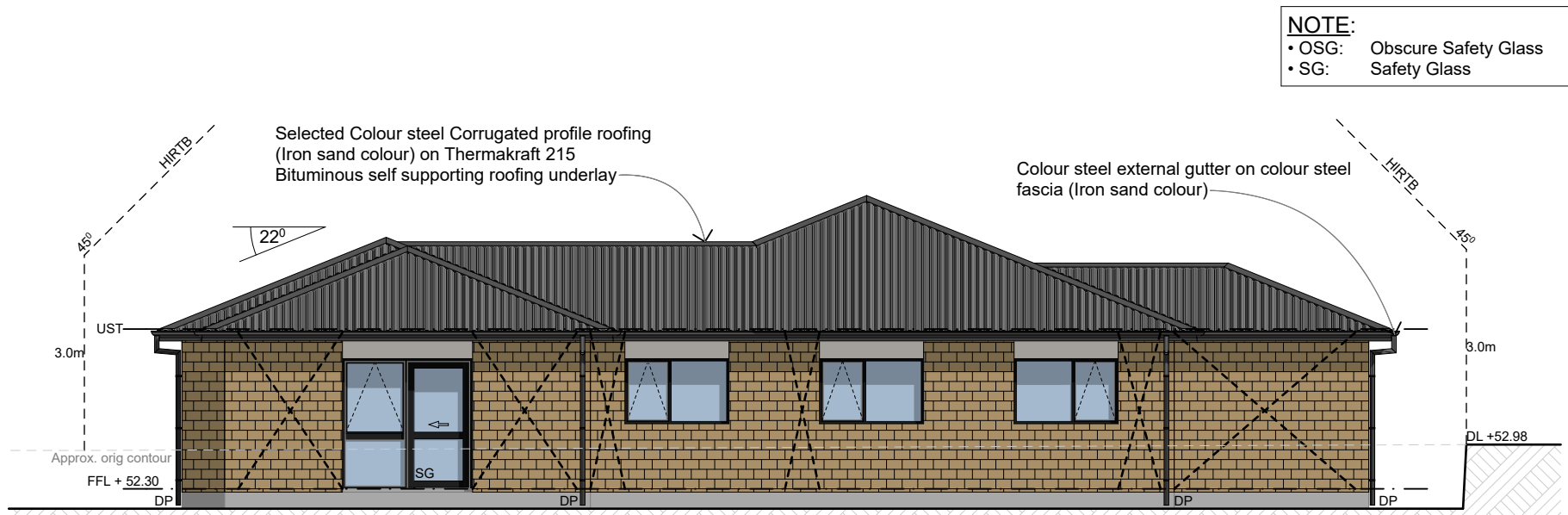
Elevations



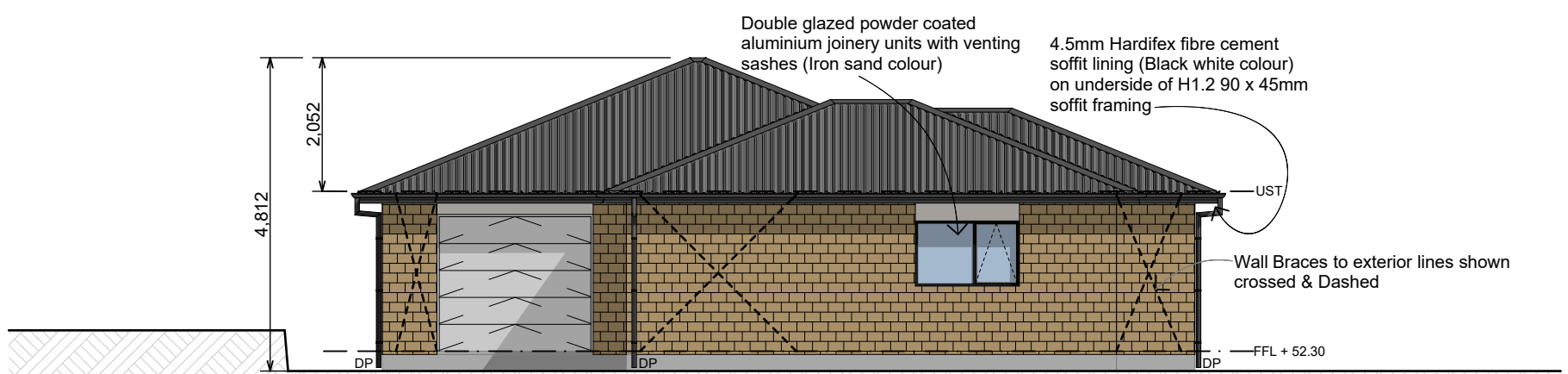
UNIT 9



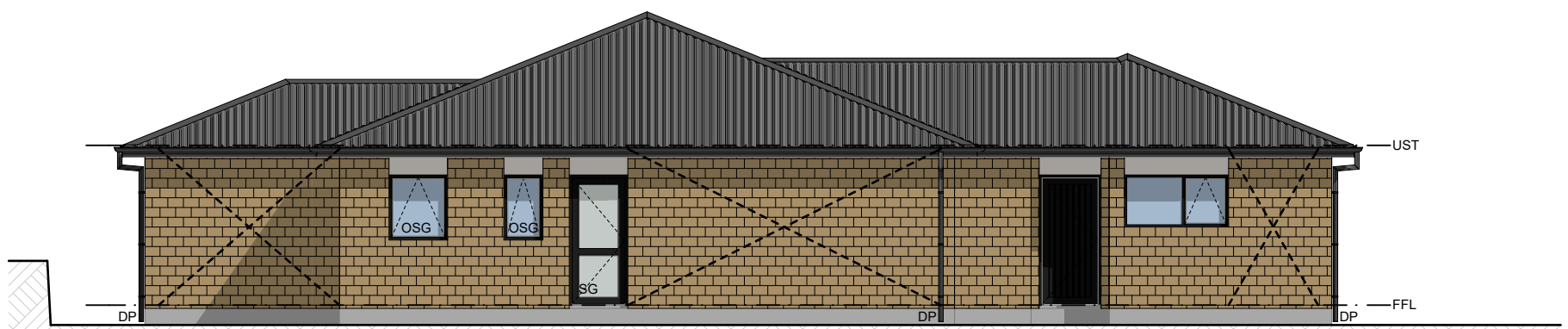
UNIT 10



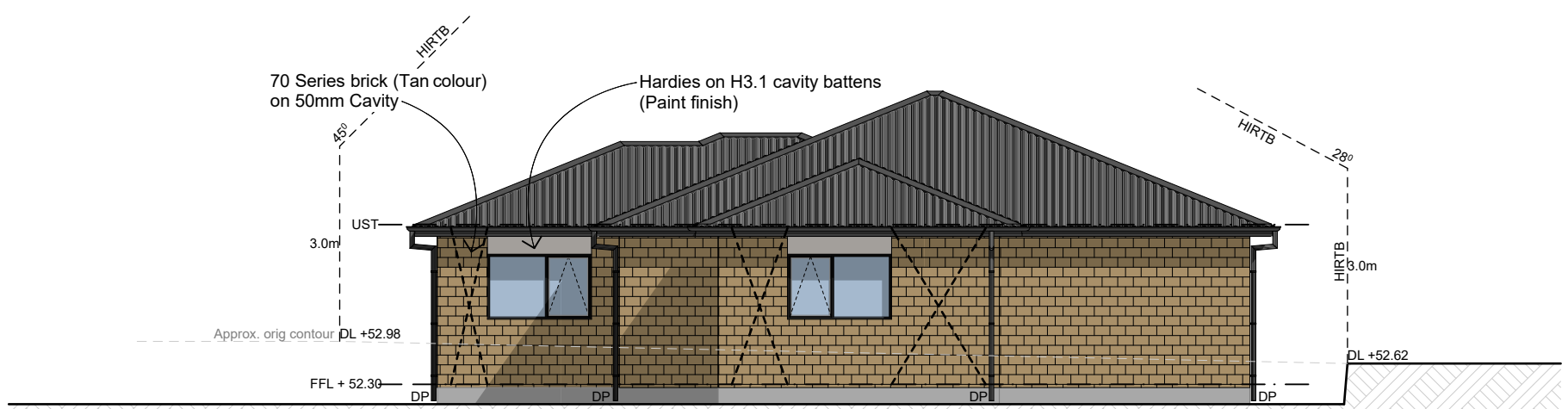
U NORTHERN ELEVATION 1:100



V EASTERN ELEVATION 1:100



W SOUTHERN ELEVATION 1:100



X WESTERN ELEVATION 1:100

Received

PLANNING GUIDANCE

15th April 2020

15th April 2020

Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Medium risk	0
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		2

GENERAL NOTES:

- Contractor to check & verify all dimensions on site prior to work commencing.
- Read in conjunction with soil report for specific site excavation recommendations & the most recent version of the Firth Rib-Raft manual.
- All foundations to be excavated to good soil bearing ground greater than 300 kPa.
- Plumbing units above shown.
- Concrete in slabs & footings to be 20 MPa min @ 28 Days unless otherwise stated. All Concrete to comply with NZS 3604:2011.
- Depth of footings to be as per Firth Rib-Raft manual requirements.

CONCRETE FOUNDATION NOTES:

- F.F.L of Slab to be 225mm min from finished ground level (Refer Footing details).
- Check & confirm all cast in services prior to work commencing.
- All services to be placed centrally with an opening 50mm greater in diameter than the service duct/pipe, to allow seismic tolerances.
- Ensure min 2.27kg per/m² 500E grade mesh complying with AS/NZS:4671 is used in concrete slab.
- All Reinforcing mesh to have min 300mm lap.
- Shrinkage Saw cuts to be 25mm deep & cut with a 5mm Blade as shown on plan and in accordance with NZS 3604: 2011.
- Allow for slab to be protected during construction process.
- **Important Note:**
Sand pad formation must be taken 1.0m min past slab perimeter.

Key:

Footing line: -----

Edge of Slab line: -----

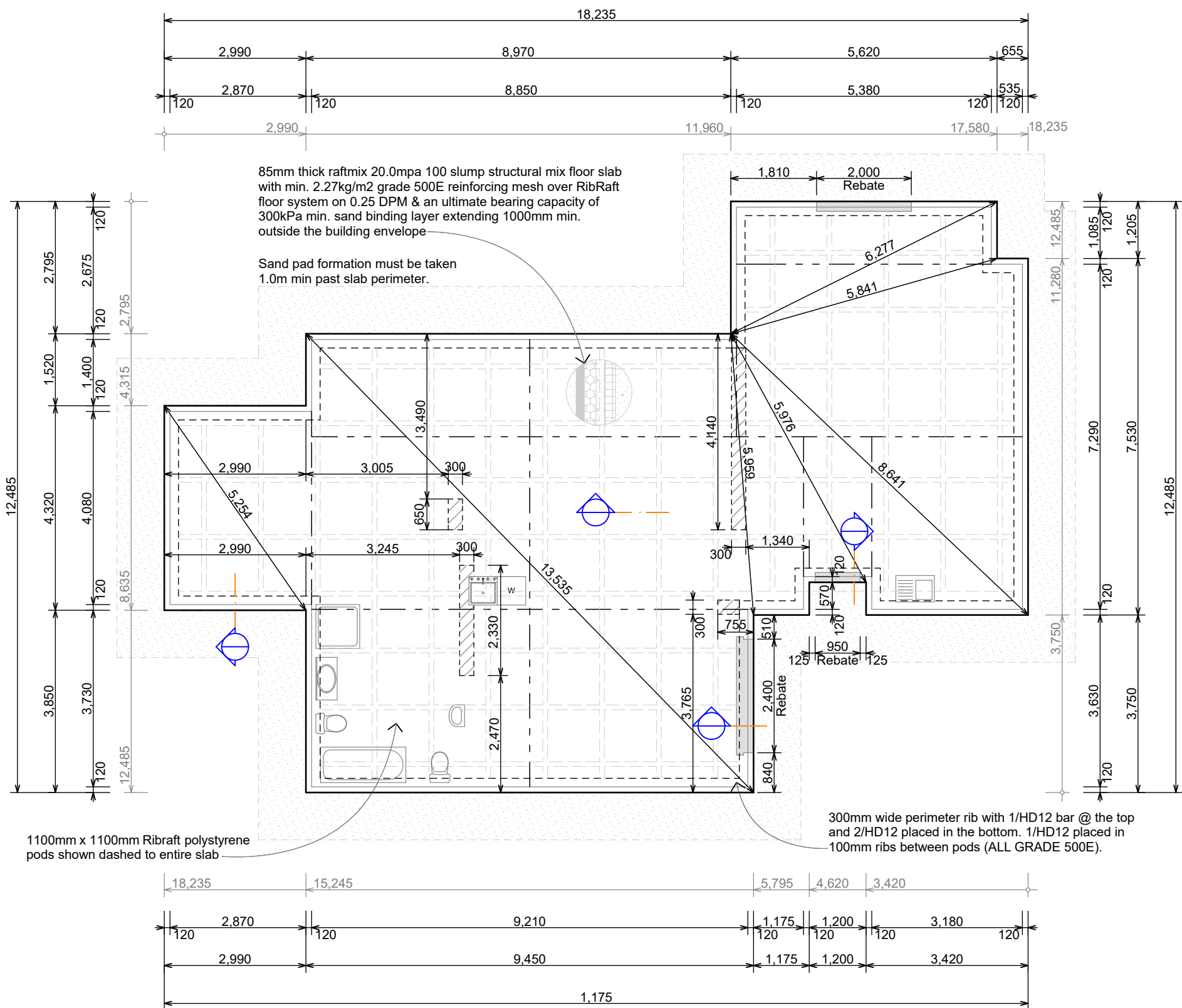
Shrinkage control indication: -----

Load Bearing footing 300 wide

Note:

For Typical Ribraft concrete Footing Details Refer Pg 15 of plan set.

FINAL APPROVED
RESOURCE CONSENT PLANS
File # : 10.2020.10918.001
Date of Consent: 8.9.20



UNIT 11

FOUNDATION PLAN

1:100

**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 10.2020.10918.001
Date of Consent: 8.9.20

GENERAL NOTES:

- Contractor to check & verify all dimensions on site prior to work commencing.
- All work to comply with NZS 3604:2011 & the NZ Building Code.
- All materials lifetimes to comply with the NZ Building Code.
- Refer Bracing plan for lintels and bracing.
- All fittings & appliances to be specified by owner.
- Refer to owner regarding final kitchen layout.
- Certified smoke alarms compliant with Clause F7/AS1. ☉ S-A ☉ S-A
- Allow install of safe tray under H.W.C.

FRAMING NOTES:

- Medium wind zone.

- All Framing Grade to be SG8 unless otherwise stated.

- DPC between all timber framing and concrete.

Studs:
H1.2 90 x 45 studs @ 600 crs with nogs @ 800 crs.

Double Top Plate:
H1.2 140 x 35 top plate packer over all external & internal walls Unless otherwise stated.

Heights:
2455mm: Over all strapping
2420mm: Over all plates
2330mm: Stud length
2000mm: Ext joinery head height
2000mm: Int door head height
Trim sizes to be determined by frame designer & Contractor

Bottom plate fixings:
90 x 45 H3.2 bottom plate on **DPC** fixed with bottom plate anchors within 150mm of each end of plate and spaced @ 900 crs.

AREAS (LOT 7 UNIT):

Dwelling area (o/cladding): 154.8m²
Dwelling area (o/frame): 147.4m²
Portico / Porch area: 0.8m²
Roof area: 176.4m²

JOINERY NOTES:

- Natural lighting to habitable spaces >10% as per NZBC G7/AS1. Ventilation to habitable spaces >5% as per NZBC G4/AS1.
- All aluminium joinery glazing is to comply with NZS:4223.
- All joinery dimensions are stated as true sizes (Allow appropriate clearances to frames). Joiner to confirm all sizes on site prior to manufacture.
- All aluminium joinery in dwelling to be double glazed. Allow single glazing to garage.
- All internal doors to suit ex 20mm Architraves. Doors as specified by owner.

- Obscure Safety glass to Bathroom & Ensuite windows. Refer Elevations for all other safety glass units required.

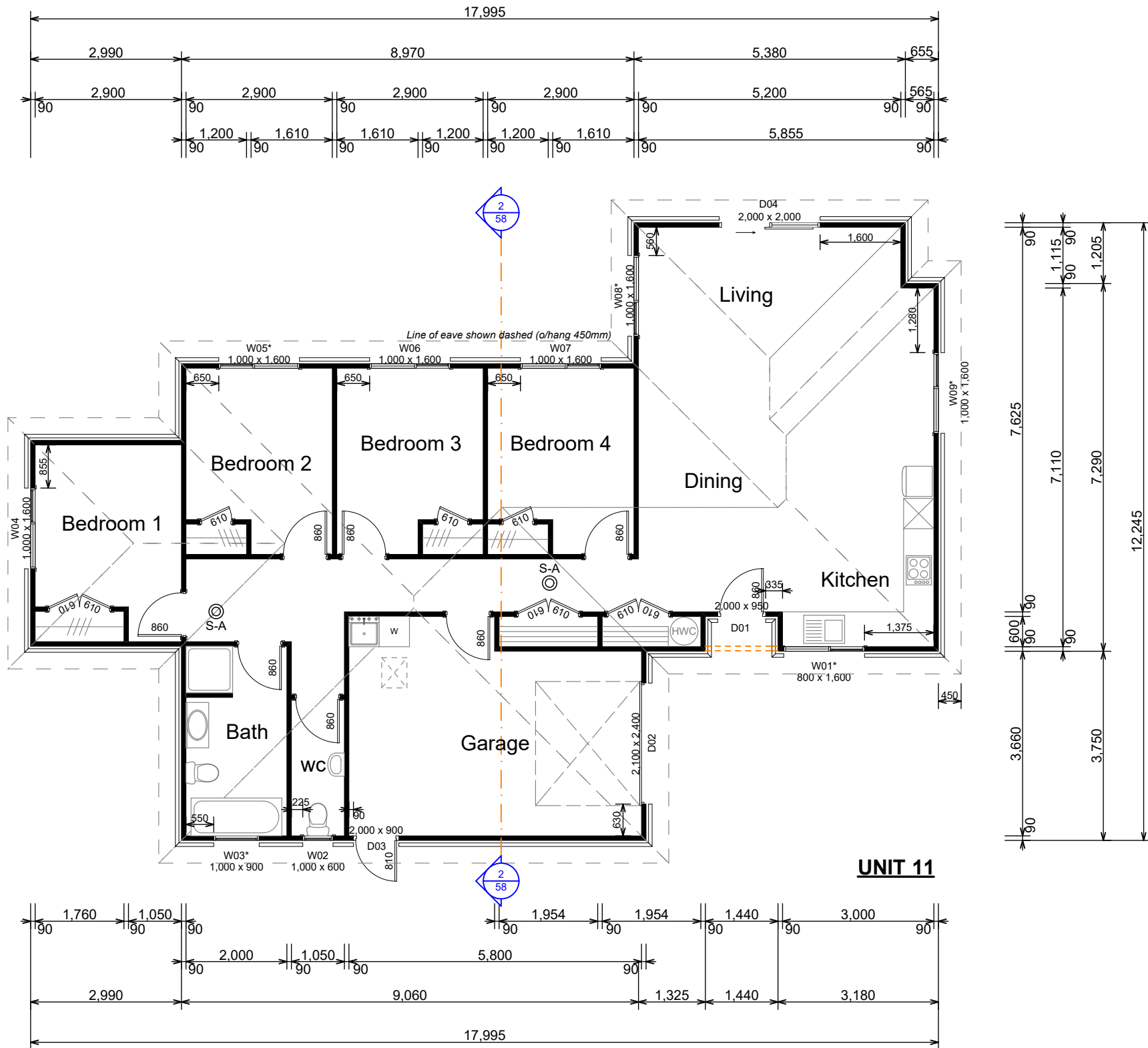
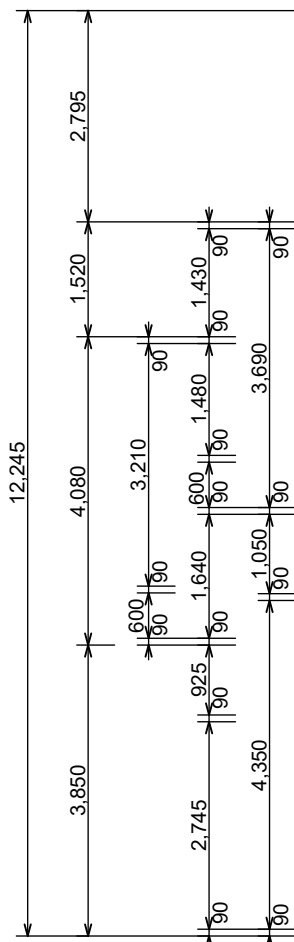
- All exterior joinery jamb liners are to be H3.1 min treated.

INSULATION NOTES:

Exterior walls: R2.2 min,
Ceiling: R3.6 min.
Refer project specifications for H1 Calculations.

WET AREA NOTES:

- All wet area walls & ceilings to be lined with Gib Aqualine.
- All wet area floors to be vinyl.
- Shower to Bath room to be Stainless steel with vinyl liner.
- All Glass shelving and screens in wet areas to be toughened safety Glass.



Elevations

FLOOR PLAN

1:100